

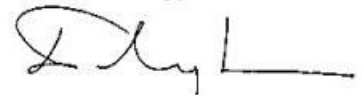
ADDENDUM NO. 02

November 14, 2025

To Drawings and Specifications dated October 24, 2025

Reynolds Elementary School Maintenance Improvements
Spring Independent School District

Prepared & Issued by: IN2 Architecture/Coleman Partners
12222 Merit Drive, Suite 1140
Dallas, Texas 75251

11/14/25

Notice to Proposers:

- A. This Addendum forms part of the Contract documents for the above-mentioned project and shall be incorporated integrally therewith.
- C. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.

SPECIFICATIONS

- Item No. 1 Table of Contents
 - A. Add enclosed section 01 23 00 Alternates
- Item No. 2 Section 02 82 00 Asbestos Remediation
 - A. Replace all reference to "containment area" with "work area".
 - B. Part 3, Section 3.1 – Revise paragraphs as follow:
 - 1. Delete paragraph **E**
 - 2. **I. Testing:** Perform visual inspection upon completion of the work. Collect upwind and downwind air samples during asbestos removal activities and analyze in accordance with regulations. Upon satisfactory conclusion of visual inspections, remove critical barriers.
 - 3. **J. After thorough decontamination, complete asbestos abatement work upon meeting the regulated area visual clearance criteria and fulfilling the following:**
- Item No. 3 Section 10 73 00, Walkway Canopies
 - A. Add enclosed paragraph 2.1.A.9:
 - 9. Canopy Solutions

DRAWINGS

- Item No. 4 Sheet S101 General Structural Criteria
 - A. Discard and replace with enclosed.
 - B. Loose lintel schedule is added to sheet.
- Item No. 5 Sheet G-002, HCED Fire Code Sheet V9.0
 - C. Add enclosed sheet.
- Item No. 6 Sheet AD-700, Roof Plan - Demo
 - A. Discard and replace with enclosed.
- Item No. 7 Sheet AD-702, RCP - Demo
 - A. Add note "Refer to electrical drawings for demolition and replacement of light fixtures and wall mounted devices. Patch and restore surrounding surfaces as required."

- Item No. 8 Sheet AS-202, Site Details
 A. Detail 5 – Revise Gate Hardware as follow:
 Interchangeable core: Allegian non-primus Everest cores
 Construction core: Orange construction cores.
- Item No. 9 Sheet AS-401, Enlarged Portable Plan
 A. Discard and replace with enclosed.
 B. Add references to new detail 10.
- Item No. 10 Sheet A-502, Elevations, Sections and Details – Exterior wall
 A. Detail 2 – Revise drawing title to “ Elevation – North.”
 B. Detail 2 – Clarification: where “DS” is noted, add new 6” round extruded aluminum downspout.
- Item No. 11 Sheet A-504, Elevations, Sections and Details – Canopy
 A. Discard and replace with enclosed.
 B. Add references to new detail 3.
- Item No. 12 Sheet A-701, Roof Plan
 A. Discard and replace with enclosed.
 B. Add references to new details 2, 3 and 4.
- Item No. 13 Sheet A-702, Manufacturer Roof Details
 A. Add the following general note:
 Manufacturer’s details provided are for membrane installation requirements. Refer to specifications for removal of existing materials, coverboard, substrate and other requirement for complete re-roofing work.
- Item No. 14 Sheet A-703, RCP
 A. Replace Keynote AA-02 with AE-10.
 B. Ceiling Legend: Revise ACT size to 2x2.
 C. New walkway canopy on northside of portables - refer to detail 10/AS-401 for connection to existing building.
 D. Add note “Refer to electrical drawings for demolition and replacement of light fixtures and wall mounted devices. Patch and restore surrounding surfaces as required.”

MEPT

- Item No. 15 Sheet E0.01, Electrical Demolition Site Plan
 a. Discard and replace sheet in its entirety.
 b. Revise keyed note #3, Note shall read: “...8” BELOW FINISHED GRADE, REMOVE CONDUCTORS BACK TO SOURCE.”
 c. Add keyed note #8, note shall read: “DISCONNECT AND REMOVE EXISTING WALL MOUNTED LIGHTING AND ASSOCIATED CONDUIT/WIRE BACK TO NEAREST ACTIVE JUNCTION BOX. CONTINUITY OF EXISTING CIRCUITRY TO REMAIN. PROVIDE BLANK STAINLESS STEEL COVERPLATE FOR EXISTING OUTLET BOX.”
 d. Revise exterior canopy light fixture demolition, typical of 8.
 e. Revise exterior wall mounted light fixture demolition, typical of 11.
- Item No. 16 Sheet E0.02, Electrical Site Plan
 1. Discard and replace sheet in its entirety.
 2. Revise light pole/base locations and underground conduit.
 3. Add footcandle requirements at residential property line.
 4. Revise Site Lighting Fixture Schedule, delete motion sensor from all fixtures.
- Item No. 17 Sheet E1.01, Electrical Composite Plan
 a. Discard and replace sheet in its entirety.
 b. Northwest exterior soffit, revise light fixture layout and fixture type.
 c. Provide (9) type W1 light fixtures via keyed note #5 at existing wall mounted locations.

- d. Provide (3) type B2 light fixtures via keyed note #5 at existing canopy locations.
- e. Provide (1) type C1 light fixture via keyed note #5 at existing canopy location.

Item No. 18 Sheet E4.01, Electrical Details and Schedules

a. Light Fixture Schedule

- i. Revise Type B1: Halo / #HC820D010-HM80520840-81WDC / Recessed / 2000L LED / 4000 K / 80 / 277 / 21W / 8-INCH OPEN DOWNLIGHT, WIDE BEAM, SPECULAR CLEAR TRIM, ENERGY STAR LISTED.
- ii. Add Type B2: Halo / #HC8R20D010-HM80520840-81WDC / Recessed / 2000L LED / 4000 K / 277 / 21W / 8-INCH OPEN RETROFIT DOWNLIGHT, WIDE BEAM, SPECULAR CLEAR TRIM, ENERGY STAR LISTED. PROVIDE WITH OVERSIZE REFLECTOR FLANGE TO COVER EXISTING CEILING OPENING. VERIFY EXACT APERTURE OF EXISTING OPENING.
- iii. Add Type W1: McGraw Edison / #IST-SA1D-740-U-T4W-BZ-LCF / Wall / 5733L LED / 4000 K / 80 / 277 / 45W / ARCHITECTURAL WALLPACK, TYPE IV WIDE DISTRIBUTION, FULL CUT OFF, DLC LISTED. LIGHT SQUARE TRIM PLATE TO MATCH HOUSING FINISH. COLOR SELECTED BY ARCHITECT.

END OF ADDENDUM 02

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 ALTERNATE PRICES

- A. State, in the spaces provided in the proposal form, Alternate Prices for the work described below. The responsibility of determining quantity of Alternates rests with the Contractor. Base Proposal and Alternates shall include cost of all supporting elements required, so that no matter what combination of Base Proposal and Alternates are accepted, that portion shall be a complete entity in itself. Work for all Alternates shall be in strict accordance with the specification sections noted and applicable to the specific work.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.1 ALTERNATES

A. Alternate Proposal No. 1: Exterior Lighting

The amount to add to the Base Proposal to provide new light fixtures as noted on Electrical Sheet E1.01 Note 5.

END OF SECTION

STRUCTURAL CONCEPT, STANDARDS AND LOADS

- A. DESIGN CONCEPT:
1. THE STRUCTURE AS SHOWN HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS AND DESIGN STANDARDS TO SUPPORT THE FINAL BUILDING SERVICE LOADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADDITIONAL SUPPORTS FOR THE STRUCTURE IF NECESSITATED BY THE CONSTRUCTION SEQUENCE OR METHODS OF FABRICATION, HANDLING, ERECTION, AND OTHER CONSTRUCTION OPERATIONS.
- B. BUILDING CODES AND DESIGN STANDARDS:
1. INTERNATIONAL BUILDING CODE: 2021 EDITION WITH CITY OF HOUSTON AMENDMENTS.
2. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE): MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7.22 AS AMENDED.
3. AMERICAN CONCRETE INSTITUTE (ACI): BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318, AS AMENDED.
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): MANUAL OF STEEL CONSTRUCTION, 15TH EDITION (ASD), 2017, AS AMENDED.
5. AMERICAN WELDING SOCIETY (AWS):
6. STEEL JOIST INSTITUTE (SJI): STANDARD SPECIFICATIONS FOR OPEN WEB STEEL JOIST AND JOIST GRIDERS.
7. STEEL DECK INSTITUTE (SDI): DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS, ROOF DECKS, AND CELLULAR METAL FLOOR DECK WITH ELECTRICAL DISTRIBUTION.
8. AMERICAN IRON AND STEEL INSTITUTE (AISI): SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS, LATEST EDITION.
- C. GRAVITY LOADS:
1. SUPER-IMPOSED LOADS ARE GIVEN IN POUNDS PER SQUARE FOOT (PSF)
- | BUILDING AREA | DEAD LOAD (PSF) | LIVE LOAD (PSF) |
|---------------|-----------------|-----------------|
| SLAB ON GRADE | 0 | 100 |
- D. LATERAL DESIGN LOADS (ENCLOSED STRUCTURE):
1. WIND LOADS FOR A BASIC DESIGN WIND SPEED OF 120 MPH (ASD WIND SPEED OF 97.8 MPH), 3-SECOND GUST, WITH EXPOSURE B AND A RISK CATEGORY II.
2. COMPONENTS AND CLADDING PRESSURES (PSF) FOR "CLOSED" BUILDINGS:
- E. SEISMIC CRITERIA:
- | | |
|--|--|
| 1. IMPORTANCE FACTOR: | 1.00 |
| 2. RISK CATEGORY: | II |
| 3. MAPPED SPECTRAL RESPONSE ACCELERATIONS: | S _s = 0.083, S ₁ = 0.045 |
| 4. SITE CLASS: | D (ASSUMED) |
| 5. SPECTRAL RESPONSE COEFFICIENTS: | S _{ds} = 0.073, S _{d1} = 0.066 |
| 6. SEISMIC DESIGN CATEGORY: | A |
- F. ROOF RAIN LOAD DATA:
1. RAIN INTENSITY, I = 4.69 IN/HR
- G. GROUND SNOW LOADS:
1. GROUND SNOW, S = 0 PSF
2. FLAT-ROOF SNOW LOAD, S_f = 8 PSF
3. SNOW EXPOSURE FACTOR: 1.2
4. SNOW IMPORTANCE FACTOR: 1.0
5. THERMAL FACTOR: 1.2

EXCAVATION, BACKFILLING & FOUNDATIONS

- A. A GEOTECHNICAL EXPLORATION OF SUBSURFACE CONDITIONS, CONTAINING TEST BORINGS, LABORATORY TEST, ENGINEERING ANALYSIS AND FOUNDATION RECOMMENDATIONS, PERFORMED BY TERRACON DATED OCTOBER 13, 2025 REPORT NO. 92256359 IS AVAILABLE FOR REVIEW.
- B. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION SO THAT PONDING OF WATER DOES NOT OCCUR IN THE BUILDING AREA.
- C. SUB-GRADE PREPARATION:
- a. PERFORM DEMOLITION OF EXISTING STRUCTURES AS REQUIRED BY THE GEOTECHNICAL REPORT. THE ENTIRE VOLUME OF THE EXCAVATIONS CREATED BY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES SHOULD BE BACKFILLED WITH ENGINEERED (SELECT) FILL THAT IS PROPERLY PLACED AND COMPACTED.
- b. EXCAVATE EXISTING SOILS AS REQUIRED TO REMOVE ALL EXISTING VEGETATION, ROOTS AND DELETERIOUS MATERIALS FROM THE PROPOSED BUILDING AREA, AND AS REQUIRED BY GEOTECHNICAL REPORT. THE CLEARING SHOULD EXTEND BEYOND THE BUILDING EDGES. ONCE ROUGH GRADE IS ESTABLISHED, THE EXPOSED SURFACE SHOULD BE PROOF-ROLLED. ANY SOFT POCKETS OF SOFT OR WEAK SOILS ENCOUNTERED SHOULD BE REMOVED. BUILD BUILDING PAD AS REQUIRED BY GEOTECHNICAL REPORT.
- c. BUILDING PAD UNDER SLAB ON GRADE SHALL BE PREPARED TO PROVIDE AN OWNER APPROVED PVR OF 1" OR LESS BASED ON RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT.
- D. FOUNDATIONS HAVE BEEN DESIGNED FOR ALLOWABLE PRESSURE OF 4,000 PSF (NET DEAD + SUSTAINED LIVE LOAD) 6,000 PSF (NET TOTAL LOAD).
- E. REFER TO THE GEOTECHNICAL EXPLORATION FOR ADDITIONAL INFORMATION.

GENERAL NOTES FOR CONSTRUCTION

- A. CONSTRUCTION METHODS, PROCEDURES AND SEQUENCES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SHALL TAKE ALL THE NECESSARY MEANS TO MAINTAIN AND PROTECT THE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION AT ALL STAGES.
- B. ALL PROPOSED SUBSTITUTIONS MUST BE EQUAL, OR BETTER AND SHALL BE REVIEWED BY THE ARCHITECT/ENGINEER PRIOR TO ANY PERTINENT WORK AND PRIOR TO THE AWARD OF THE CONTRACT.
- C. NOT ALL OPENINGS AND OTHER COMPONENTS THAT ARE REQUIRED HAVE BEEN SHOWN IN THE STRUCTURAL DRAWINGS. COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND VERIFY THE LOCATIONS AND SIZES OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, PADS AND OTHER PROJECT REQUIREMENTS. FLOOR PLAN WILL BE FURNISHED FOR THAT PURPOSE.
- D. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE MECHANICAL, ELECTRICAL, PLUMBING AND ARCHITECTURAL DRAWINGS TO DETERMINE WHERE OPENINGS ARE REQUIRED IN REINFORCED CONCRETE BEAMS, SLABS AND WALLS.
- E. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DETAILING ALL THE OPENINGS, INCLUDING ADDED REINFORCEMENT AS SHOWN ON THE TYPICAL WALL, SLAB AND BEAM OPENING DETAILS FOR REVIEW.
- F. ADDITIONAL REINFORCEMENT ABOVE THAT SHOWN IN THE TYPICAL SLAB AND BEAM OPENING DETAILS MAY BE REQUIRED AND WILL BE REVIEWED ON THE SHOP DRAWINGS.
- G. USE THE MANUFACTURER'S CERTIFIED DRAWINGS AND SPECIFICATIONS FOR THE EQUIPMENT ANCHORAGE AND DETAILS.
- H. ALL CONSTRUCTION JOINTS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE. ADDITIONAL CONSTRUCTION JOINTS TO FACILITATE CONSTRUCTION SHALL BE LOCATED AND DETAILED ON THE SHOP DRAWINGS FOR REVIEW.
- I. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE PERMITTED IN BEAMS UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- J. ALL CONSTRUCTION AND CONTROL JOINTS FOR BEAMS WHICH ARE EXPOSED TO VIEW ARE TO BE LOCATED TO COINCIDE WITH THE VERTICAL RUSTICATION JOINTS AS SHOWN ON THE BUILDING ELEVATION SHEETS OR AS REVIEWED IN WRITING.
- K. SHOP DRAWINGS:
1. THE TERM "SHOP DRAWINGS" INCLUDES FABRICATION, MANUFACTURING, ERECTION AND SETTING DRAWINGS, BROCHURES, CERTIFICATES, AND PRODUCT DATA DESCRIBING MATERIALS AND EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE ALL PERTINENT INFORMATION REQUIRED FOR THE ENGINEER TO FULLY EVALUATE THE MATERIALS BEING REPRESENTED BY THE SUBMITTAL INCLUDING THE PHYSICAL PROPERTIES, DIMENSIONS, LOCATIONS AND METHOD OF INSTALLATION.
2. SHOP DRAWINGS WILL BEAR THE REVIEW STAMP OF THE CONTRACTOR INDICATING THAT HE HAS REVIEWED THE DRAWINGS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, COORDINATED ITEMS INCLUDED IN THE SUBMITTAL WITH RELATED ITEMS, AND VERIFIED AND COORDINATED DIMENSIONS.
3. REPRODUCTIONS OF THE ENGINEERING DRAWINGS WILL NOT BE ACCEPTABLE AS SHOP DRAWINGS.
4. ANY SHOP DRAWING NOT CONFORMING TO THESE REQUIREMENTS WILL BE CAUSE FOR REJECTION AND WILL BE RETURNED WITHOUT ANY FURTHER ACTION.
5. STRUCTURAL SUBMITTALS REQUIRED FOR APPROVAL INCLUDE, BUT ARE NOT LIMITED TO:
- CONCRETE ACCESSORIES (MANUFACTURERS PRODUCT DATA)
 - STEEL REINFORCING
 - CONCRETE MIX DESIGN
 - CONTROL JOINT LAYOUT
 - CONCRETE MATERIAL CERTIFICATES
 - STRUCTURAL STEEL FRAMING
 - STRUCTURAL STEEL CONNECTION CALCULATIONS
 - STEEL ROOF DECK
 - COLD FORMED METAL FRAMING
 - COLD FORMED METAL FRAMING CALCULATIONS
 - MISC. STEEL FABRICATIONS
6. DELEGATED STRUCTURAL DESIGN OF COMPONENTS:
- SEE APPLICABLE SECTIONS OF GENERAL NOTES FOR THE APPROPRIATE DESIGN RESPONSIBILITIES OF THE SUPPLIER AND IT'S LICENSED ENGINEER.
- L. THESE NOTES APPLY TO STRUCTURAL DOCUMENTS SEALED BY THE STRUCTURAL ENGINEER AND ARE INTENDED TO BE COMPLEMENTARY TO AND USED IN CONJUNCTION WITH THE PLANS AND SPECIFICATIONS, INCLUDING THOSE PREPARED BY OTHER DISCIPLINES. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/STRUCTURAL ENGINEER IMMEDIATELY. ANY SUCH DISCREPANCIES SHALL BE RESOLVED TO THE MORE STRINGENT REQUIREMENTS, UNLESS OTHERWISE AUTHORIZED BY THE STRUCTURAL ENGINEER.
- M. ANY DISCREPANCIES ON THE STRUCTURAL DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/STRUCTURAL ENGINEER PRIOR TO SUBMISSION OF BIDS OR PROPOSALS, OR IF NOT REASONABLE DISCERNABLE DURING PREPARATION OF BIDS AND PROPOSALS, BEFORE COMMENCING THE WORK IN QUESTIONS. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER. NO CHANGE ORDER CONSIDERATION WILL BE GIVEN TO CHANGES FOR WHICH THE ARCHITECT AND/OR ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- N. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONSTRUCTION, INCLUDING EXISTING WORK, PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORT IMMEDIATELY TO THE ARCHITECT/STRUCTURAL ENGINEER.
- O. GENERAL FOUNDATION NOTES:
1. FOR ALL SLAB ON GRADE SHOWN ON ARCHITECTURAL AND NOT SHOWN ON STRUCTURAL DRAWINGS, ASSUME 9" THICK CONCRETE SLAB WITH #4 REINFORCING BARS AT 14" OC IN EACH DIRECTION.
2. MECHANICAL EQUIPMENT AND LOCKERS SHALL RECEIVE A HOUSEKEEPING PAD AS INDICATED IN MEP OR ARCHITECTURAL DRAWINGS AND PER MANUFACTURER'S RECOMMENDATIONS.
3. THE MAXIMUM GRADE BEAM SPAN IS 20'-0". PROVIDE ADDITIONAL 2448 PIER AT MID SPAN WHERE PIERS ARE NOT SHOWN ON PLAN AND ALLOWABLE SPAN IS EXCEEDED.
4. ASSUME GRADE BEAM TYPE "GB1" FOR ALL LOCATIONS WHERE CMU WALLS EXCEED 16'-0" IN HEIGHT ARE SHOWN ON PLANS. SUPPLY 2448 PIER AT 20'-0" OC MAXIMUM UNDER GRADE BEAM.
5. FOR ALL DUMPSTER ENCLOSURES, SCREEN WALLS, AND OTHER MASONRY FENCES NOT SHOWN ON STRUCTURAL DRAWINGS ASSUME 4'-0" TALL MASONRY WALL WITH VENEER ON ONE SIDE SUPPORTED BY CONTINUOUS TYPE GB1 GRADE BEAM ON 2448 DRILLED PIERS SPACED AT 15'-0" MAXIMUM. STRUCTURAL MASONRY WALL SHALL BE 8" CMU WITH #6 VERTICAL BARS SPACED AT 24" ON CENTER IN FULLY GROUTED CELLS.
6. FOR ALL SPORTS FIELDS WHERE THE BACKSTOP WALL IS NOT SHOWN ON STRUCTURAL DRAWINGS ASSUME 4'-0" TALL MASONRY WALL WITH VENEER ON ONE SIDE SUPPORTED BY CONTINUOUS CONCRETE FOOTING. FOOTING SHALL BE 1'-0" THICK X 3'-0" WIDE BEARING 3'-0" BELOW FINISHED GRADE. STRUCTURAL MASONRY WALL SHALL BE 8" CMU WITH #5 VERTICAL BARS SPACED AT 32" ON CENTER SUPPORTED BY CONCRETE STEM WALL EXTENDING FROM CONTINUOUS FOOTING. REINFORCE FOOTING WITH LONGITUDINAL (4) #4 BARS AND TRANSVERSE #4 BARS AT 12" ON CENTER. AT STEM WALL PROVIDE #4 DOWELS AT 12" ON CENTER AND (3) #4 CONTINUOUS BARS AT EACH FACE.

CONCRETE

A. CONCRETE SCHEDULE:

BUILDING COMPONENT	28 DAY CYLINDER COMPRESSIVE STRENGTH POUNDS PER SQUARE INCH (PSI)			
	NORMAL WEIGHT 3000	MAX AGGREGATE SIZE (IN) 3500	SLUMP (IN) 4000	W/C RATIO 5.7
DRILLED PIERS	●	1 1/2"	5-7	0.55
ALL OTHER CONCRETE	●	1"	4-6	0.52

- B. PROVIDE DEFORMED NEW BILLET STEEL BARS CONFORMING TO ASTM A615, GRADE 60. ALL REINFORCING STEEL SHALL BE SECURELY HELD IN PLACE. PROVIDE ADDITIONAL BARS OR STIRRUPS FOR SUPPORT AS REQUIRED.
- C. WELDED WIRE FABRIC SHALL CONSIST OF FLAT SHEETS AND SHALL CONFORM TO ASTM A185, WITH A MINIMUM YIELD STRENGTH OF 65.0 KSI.
- D. PROVIDE FULL EMBEDMENT WITH STANDARD 90 DEGREE HOOKS FOR ALL DOWELS. IF NOT OTHERWISE SPECIFIED, THE DOWEL SIZE AND SPACING SHALL BE THE SAME AS THE MAIN REINFORCING.
- E. WHEN REINFORCING STEEL IN GRADE BEAMS, WALLS, SLABS AND BEAMS, IS NOTED AS CONTINUOUS, SPLICE REINFORCING STEEL ONLY WHEN UNAVOIDABLE DUE TO STOCK LENGTHS. STAGGER ALL SPLICES A MINIMUM OF 4'-0". ADJACENT BAR SPLICES ARE NOT ACCEPTABLE.
- F. LOCATE THE TOP BAR SPLICES WITHIN THE MIDDLE HALF OF THE SPAN AND LOCATE THE BOTTOM BAR SPLICES AT SUPPORTS OR BETWEEN SUPPORTS AND 1/3 SPAN POINT, UNLESS NOTED OTHERWISE ON PLANS, DETAILS OR SCHEDULES.
- G. PROVIDE INTERIOR AND EXTERIOR HORIZONTAL LAPPED CORNER BARS AT ALL CORNERS TO MATCH THE SIZE, TYPE AND SPACING OF THE WALL AND GRADE BEAM HORIZONTAL REINFORCING.
- H. UNLESS SPECIFICALLY NOTED, SCHEDULED OR DETAILED OTHERWISE, PROVIDE DEVELOPMENT LENGTH FOR REINFORCING IN CONCRETE COMPONENTS IN ACCORDANCE WITH THE SCHEDULE IN NOTE H. BELOW. THIS SCHEDULE SHALL APPLY TO ALL DEVELOPMENT LENGTHS NOT OTHERWISE NOTED, DETAILED OR SCHEDULED IN THE DRAWINGS OR SPECIFICATIONS.
- I. REINFORCING BAR DEVELOPMENT LENGTHS (L_d) IN INCHES FOR VARIOUS CONCRETE STRENGTHS IN POUNDS PER SQUARE INCH (PSI). TOP BARS ARE DEFINED AS HORIZONTAL REINFORCING SO PLACED IN A MEMBER THAT MORE THAN 12 INCHES OF CONCRETE IS CAST BELOW THE BAR. ALL OTHER CONDITIONS ARE CONSIDERED BOTTOM BARS FOR DEVELOPMENT AND SPLICE LENGTH PURPOSES.
1. WHEN TWO BARS OF DIFFERENT SIZES ARE LAPPED, THE SMALLER SIZE SHALL GOVERN THE LAP LENGTH UNLESS SPECIFICALLY NOTED.
2. WELDED OR MECHANICAL SPLICES CAPABLE OF DEVELOPING 125% OF THE BAR YIELD STRENGTH MAY BE USED IN LIEU OF THE LAPS. SUCH SPLICES MAY BE EITHER FULL BUTT WELDS OR SERIES "C" CADWELDS OR EQUAL.

BAR SIZE GRADE 60	L _d FOR TOP BARS				L _d FOR BOTTOM BARS			
	28 DAY CYLINDER CONCRETE STRENGTH (PSI)				28 DAY CYLINDER CONCRETE STRENGTH (PSI)			
	3000 / 3500	4000	5000	6000	3000 / 3500	4000	5000	6000
#3	22	19	17	16	17	15	13	12
#4	29	25	23	21	22	19	17	16
#5	36	31	28	26	28	24	22	20
#6	43	37	34	31	33	29	26	24
#7	63	54	49	45	48	42	38	34
#8	72	62	56	51	55	48	43	39
#9	81	70	62	57	62	54	48	44
#10	89	78	69	63	69	60	53	49
#11	98	85	76	70	76	66	59	54

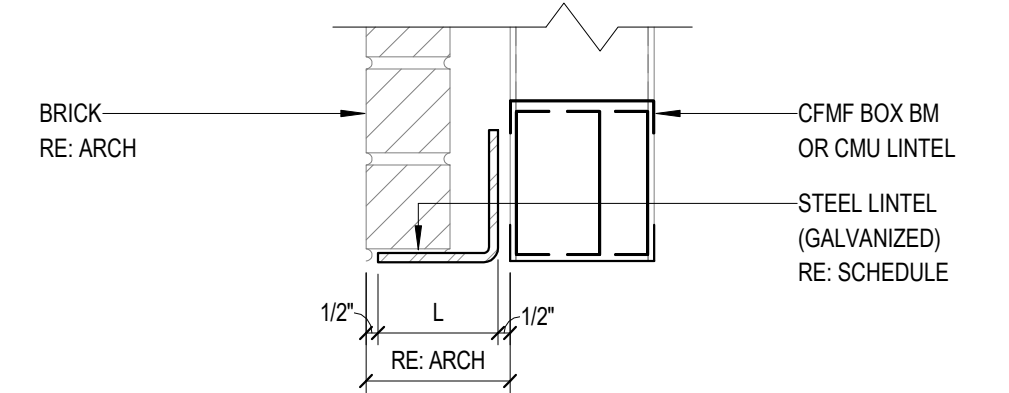
- J. AT LAP SPLICES, PROVIDE LAP SPLICE LENGTHS FOR REINFORCING BARS 1.3 TIMES THE L_d SHOWN IN THE TABLE IN NOTE H ABOVE.
- K. THE GENERAL NOTES, LAP LENGTHS OR DETAILS PERTAINING TO REINFORCING STEEL AS SHOWN ON THE DETAIL SHEETS OR OTHER SCHEDULES SHALL SUPERSEDE THE NOTES SHOWN ON THIS SHEET.
- L. PROVIDE THE FOLLOWING COVER FOR CAST-IN-PLACE CONCRETE REINFORCING.
1. UNIFORMED SURFACES IN CONTACT WITH EARTH: 3 INCHES
2. UNIFORMED SURFACES OVER MOISTURE BARRIER: 2 INCHES
3. FORMED SURFACES EXPOSED TO EARTH OR WEATHER
- #6 AND LARGER: 2 INCHES
 - #5 AND SMALLER: 1 1/2 INCHES
4. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER
- SLABS AND WALLS: 3/4 INCH
 - BEAMS AND COLUMNS: 1 1/2 INCHES

LOOSE VENEER LINTEL SCHEDULE

MASONRY OPENING	SIZE	DETAIL
LESS THAN 4'-0"	"L" X 4" X 1/4" BENT PL (LLH)	J
4'-0" BUT LESS THAN 5'-0"	"L" X 4" X 1/4" BENT PL (LLH)	J
5'-0" BUT LESS THAN 6'-0"	"L" X 5" X 1/4" BENT PL (LLH)	J
6'-0" BUT LESS THAN 8'-0"	"L" X 7" X 5/16" BENT PL (LLH)	J
8'-0" BUT LESS THAN 10'-0"	"L" X 7" X 3/8" BENT PL (LLH)	J

NOTES:

1. SEE DETAIL BELOW FOR TYPICAL LOOSE LINTEL HORIZONTAL LEG LENGTH "L". ALL DIMENSIONS PROVIDED MUST BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
2. PROVIDE 8" MINIMUM BEARING EACH END FOR STEEL LOOSE LINTELS.
3. ONE ANGLE SHALL BE PROVIDED FOR EACH WYTHE OF BRICK.
4. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
5. HOT DIP GALVANIZE ALL LINTELS AFTER FABRICATION.



INDEPENDENT TESTING LABORATORY & SPECIAL INSPECTIONS

- A. EMPLOYMENT OF A TESTING LABORATORY IN NO WAY RELIEVES THE CONTRACTOR OF ANY OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- B. CONTRACTOR RESPONSIBILITIES:
1. DELIVER TO LABORATORY AT DESIGNATED LOCATION ADEQUATE SAMPLES OF MATERIALS PROPOSED TO BE USED WHICH REQUIRE TESTING, TOGETHER WITH PROPOSED MIX DESIGNS.
2. COOPERATE WITH LABORATORY PERSONNEL AND PROVIDE ACCESS TO WORK AND TO MANUFACTURER'S FACILITIES.
3. PROVIDE INCIDENTAL LABOR AND FACILITIES TO PROVIDE ACCESS TO WORK TO BE TESTED, TO OBTAIN AND HANDLE SAMPLES AT THE SITE OR AT SOURCE OF PRODUCTS TO BE TESTED, TO FACILITATE TEST AND INSPECTIONS AND FOR STORAGE AND CURING OF TEST SAMPLES.
4. NOTIFY LABORATORY OF MATERIAL SOURCES AND FURNISH NECESSARY QUANTITIES OF REPRESENTATIVE SAMPLES OF MATERIALS PROPOSED FOR USE WHICH ARE REQUIRED TO BE TESTED.
5. NOTIFY ARCHITECT AND LABORATORY 24 HOURS PRIOR TO EXPECTED TIME FOR OPERATIONS REQUIRING INSPECTION AND TESTING SERVICES.
6. ADVISE LABORATORY IN A TIMELY FASHION TO COMPLETE REQUIRED INSPECTION AND TESTING PRIOR TO SUBSEQUENT WORK BEING PERFORMED.
7. PAY FOR ALL SUBSEQUENT RE-TESTING OF PRODUCTS OR SYSTEMS FOUND TO BE DEFECTIVE OR OTHERWISE NOT IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. REMOVE REJECTED PRODUCTS AND REPLACE WITH PRODUCTS OF SPECIFIED QUALITY.
- C. SPECIAL INSPECTIONS:
1. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTOR(S) TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF CONSTRUCTION LISTED IN THIS SECTIONS. HE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE TO THE INSPECTIONS BEING PERFORMED TO THE SATISFACTION OF THE ENGINEER OF RECORD AND THE BUILDING OFFICIAL. THE SPECIAL INSPECTOR SHALL HAVE EXPERIENCE WITH AT LEAST FIVE OTHER PROJECTS SIMILAR IN NATURE.
2. THE PURPOSE OF THE INSPECTIONS SHALL BE TO ENFORCE COMPLIANCE WITH THE CONSTRUCTION DRAWINGS, SPECIFICATIONS, GEOTECHNICAL REPORT AND THE INTERNATIONAL BUILDING CODE, SECTION 1704.
3. THE FOLLOWING ITEMS REQUIRE INSPECTION BY THE SPECIAL INSPECTOR:

	REFERENCE STANDARD	FREQUENCY
	WELDING OF REINFORCING STEEL	
STRUCTURAL REINFORCING STEEL	WELDABILITY OF STEEL OTHER THAN ASTM A706	PERIODIC
	SHEAR REINFORCEMENT	CONTINUOUS
	OTHER REINFORCEMENT	PERIODIC
	REINFORCING STEEL	PERIODIC (RANDOMLY AT 20%)
	CONCRETE MIX DESIGN	PERIODIC AT EACH CONCRETE POUR
CONCRETE CONSTRUCTION	SAMPLING OF FRESH CONCRETE	CONTINUOUS (SEE NOTE 1)
	MAINTENANCE OF SPECIFIED CURING TEMPS AND TECHNIQUES	PERIODIC AT EACH POUR
	INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION OF TECHNIQUES	CONTINUOUS
	INSPECTING OF FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS	PERIODIC
	PIERS	
PIERS	OBSERVE DRILLING OPERATIONS AND COMPLETE RECORD OF DRILLING	CONTINUOUS
	VERIFY PLACEMENTS LOCATIONS AND PLUMBNESS, LENGTH, EMBEDMENT AND ADEQUATE BEARING STRENGTH CAPACITY, CONFORM PIER DIAMETER, REINFORCING STEEL (RE: CONCRETE ABOVE)	CONTINUOUS
	VERIFY COMPLIANCE WITH THE APPROVED SUBMITTALS	PERIODIC
	AS MASONRY CONSTRUCTION BEGINS, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE	
	PROPORTIONS OF SITE-PREPARED MORTAR	PERIODIC
MASONRY	CONSTRUCTION OF MORTAR JOINTS	PERIODIC
	LOCATION OF REINFORCEMENT, CONNECTORS AND ANCHORAGES	PERIODIC
	PRIOR TO GROUTING, VERIFY THE FOLLOWING ARE IN COMPLIANCE	
	GROUT SPACE	PERIODIC
	GRADE, TYPE AND SIZE REINFORCEMENT AND ANCHOR BOLTS, AND ANCHORAGES	PERIODIC
	PLACEMENT OF REINFORCEMENT, CONNECTORS, AND ANCHORAGES	PERIODIC
	PROPORTIONS OF SITE-PREPARED GROUT	PERIODIC
	CONSTRUCTION OF MORTAR JOINTS	PERIODIC
	VERIFY DURING CONSTRUCTION	
	SIZE AND LOCATION OF STRUCTURAL ELEMENTS	PERIODIC
	TYPE, SIZE AND LOCATION OF ANCHORS INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION	PERIODIC
	WELDING OF REINFORCEMENT	CONTINUOUS
	PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F (4.4°C)) OR HOT WEATHER (TEMPERATURE ABOVE 90°F (32.2°C))	PERIODIC
	OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS	PERIODIC

NOTES:

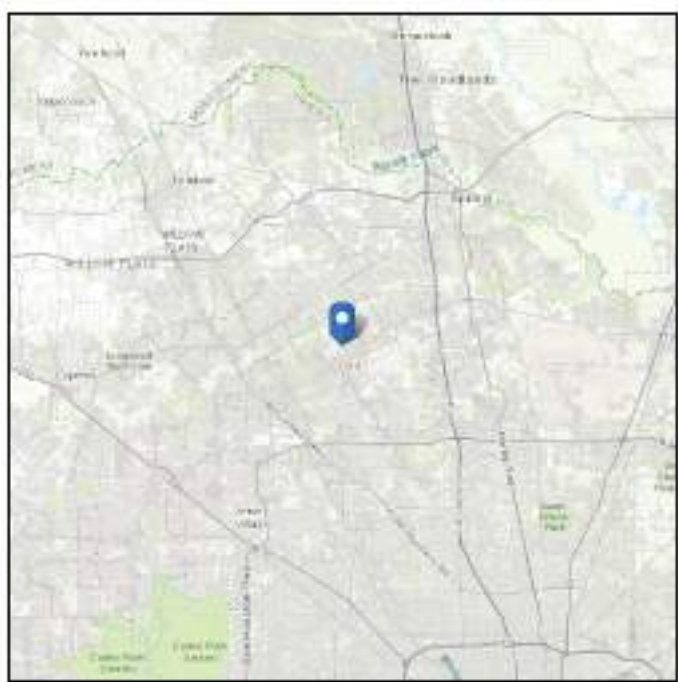
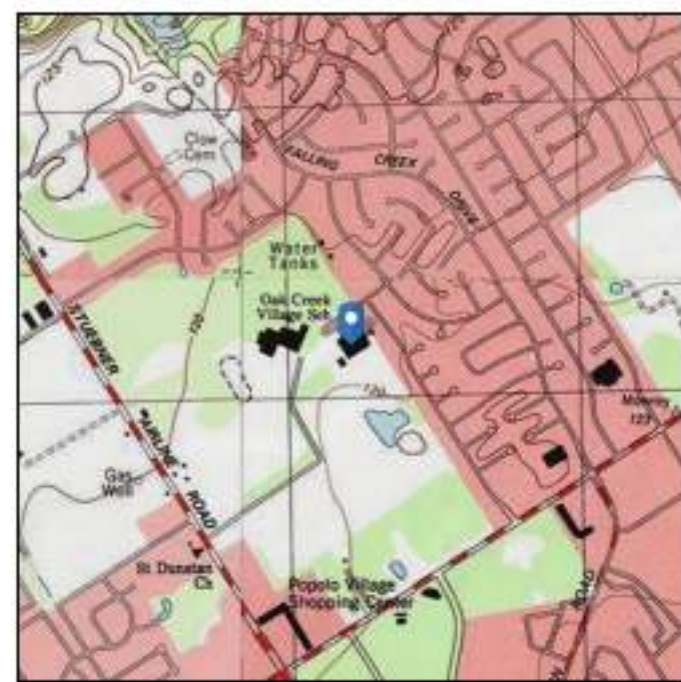
- PROVIDE A SET OF 4 FOR EVERY 75 CY OF BUT NOT LESS THAN 1,500 SF OF SLAB OR WALL SURFACE AREA. MONITOR SLUMP AND AIR CONTENT OF CONC. AND NOTIFY DELIVERY DRIVER IF SLUMP DEVIATES MORE THAN 1" FROM SPEC'D VALUE.
- ALL DRILLED AND SPOKED ANCHORS (REBAR, BOLTS, THREADED RODS ETC.) SHALL BE PULL TESTED TO 110% FOR NO LESS THAN 3 MIN.
- ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE WILL BE PERFORMED TO DETERMINE COMPLIANCE OF REPLACED OR ADDITIONAL WORK WITH SPECIFIED REQUIREMENTS.
- CORRECT DEFICIENCIES IN WORK THAT TEST REPORTS AND INSPECTIONS INDICATE DO NOT COMPLY WITH THE CONTRACT DOCUMENTS.
- PROVIDE THE ENGINEER OF RECORD (EOR) COPIES OF ALL SPECIAL INSPECTIONS SO A SPECIAL INSPECTIONS REPORT CAN BE PREPARED FOR OBTAINING A CERTIFICATE OF OCCUPANCY.



ASCE Hazards Report

Standard: ASCE/SEI 7-22
Risk Category: II
Soil Class: Default

Latitude: 29.997994
Longitude: -95.496077
Elevation: 116.40739312792358 ft (NAVD 88)



Wind

Results:

Wind Speed	128 Vmph
10-year MRI	75 Vmph
25-year MRI	87 Vmph
50-year MRI	98 Vmph
100-year MRI	107 Vmph
300-year MRI	119 Vmph
700-year MRI	128 Vmph
1,700-year MRI	132 Vmph
3,000-year MRI	138 Vmph
10,000-year MRI	146 Vmph
100,000-year MRI	158 Vmph
1,000,000-year MRI	171 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1--CC.2-4, and Section 26.5.2
Date Accessed: Tue Oct 21 2025

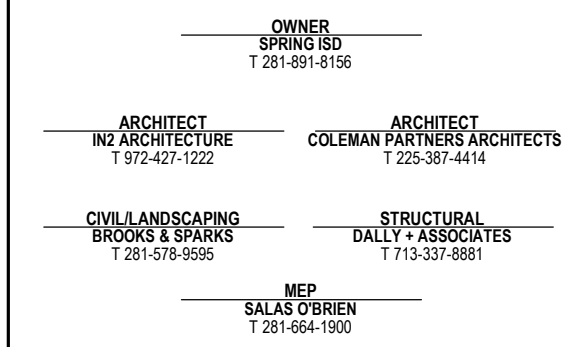
<https://ascehazardtool.org/>

Page 1 of 5

Tue Oct 21 2025



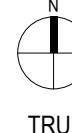
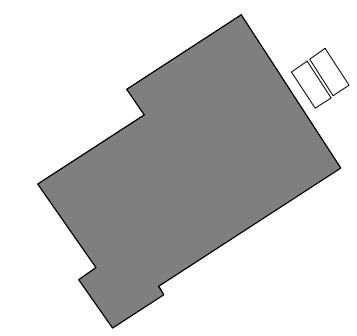
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REYNOLDS ELEMENTARY
MAINTENANCE IMPROVEMENTS

REYNOLDS ELEMENTARY SCHOOL
3975 Gladiolus Dr, Houston, TX 77068

KEY PLAN



11/14/2025

CLIENT	IN2 PROJECT NUMBER
SIBD	2411
DATE	ISSUE
11.14.2025	ADDENDUM #2

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADDENDUM #2	11.14.2025

GENERAL
STRUCTURAL
CRITERIA

S101

SHEET LIST	
c1	Sheet Name
S101	GENERAL STRUCTURAL CRITERIA
S201	FOUNDATION PLAN - OVERALL
S301	FOUNDATION DETAILS



1.1 - FRONT OF SCHOOL CANOPY DEMOLITION



1.2 - FRONT OF SCHOOL CANOPY DEMOLITION @ DROP OFF

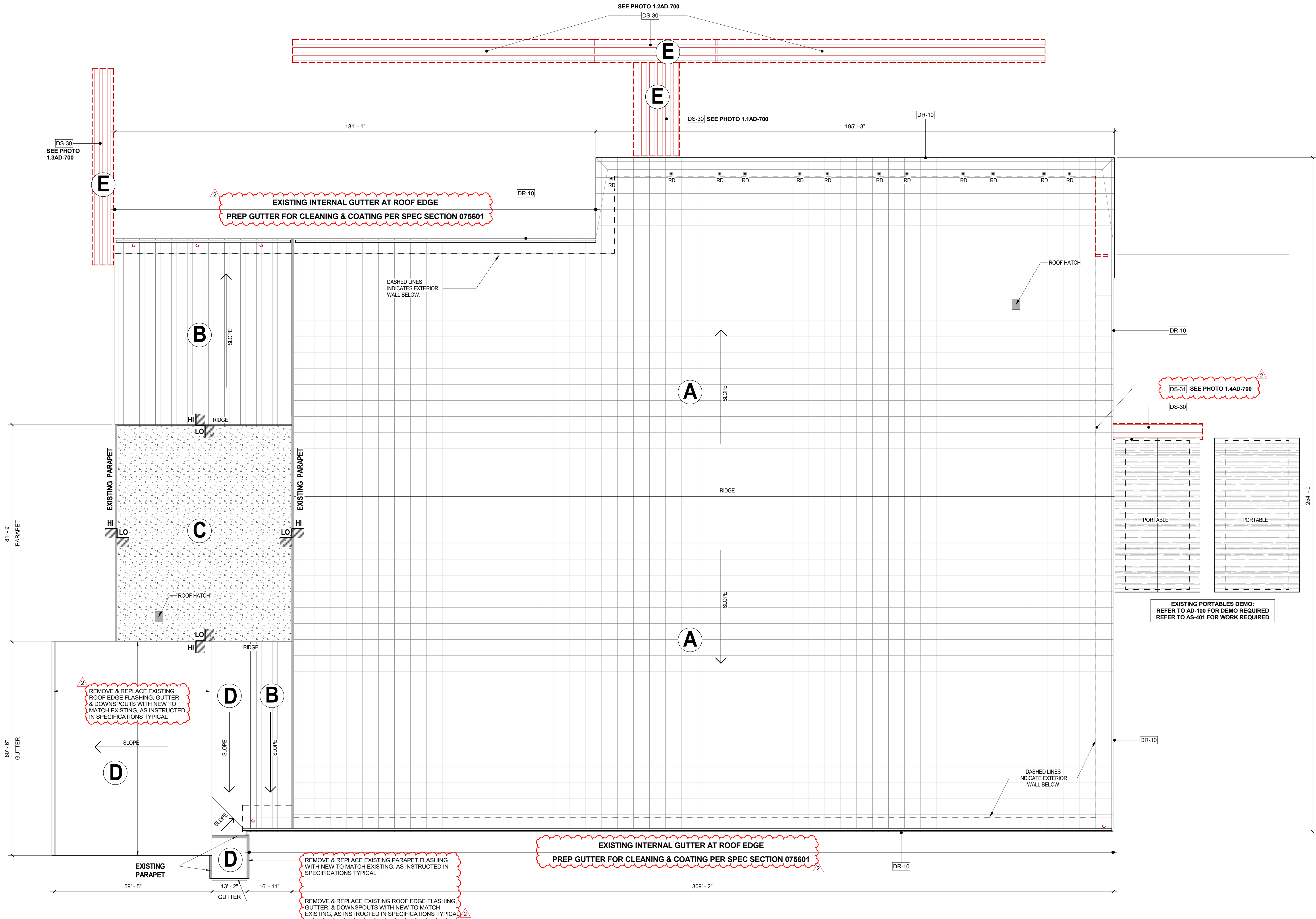


1.3 - WEST CLASSROOM WING CANOPY DEMOLITION @ PARKING



1.4 - EAST SIDE CAFETERIA PORTABLES CANOPY

1 DEMO CANOPY PHOTOS
1" = 1'-0"



06 ROOF PLAN - DEMO
1/16" = 1'-0"

DEMOLITION LEGEND

— ELEMENTS TO BE DEMOLISHED OR REMOVED FROM SPACE

EXISTING ROOF TYPES

- MAIN ROOF - ROLLED METAL ROOF - REFER TO SPEC SECTION 075601 ACRYLIC COATING ON METAL FOR ROOF PREPARATION INSTRUCTION.
- STANDING SEAM METAL ROOF - REFER TO SPEC SECTION 075601 ACRYLIC COATING ON METAL FOR ROOF PREPARATION INSTRUCTION.
- MODIFIED BITUMEN WITH BALLAST ROOF - REFER TO SPEC SECTION 075602 ACRYLIC COATING ON BUILT-UP ROOF FOR ROOF PREPARATION INSTRUCTION. REMOVE EXISTING BALLAST FROM SURFACE OF ROOF PER SPECIFICATIONS.
- SINGLE PLY TPO ROOF - REFER TO SPEC SECTION 075601 FULLY ADHERED TPO MEMBRANE FOR ROOF PREPARATION INSTRUCTION.
- ALUMINUM CANOPY - REFER TO DEMO PLANS.

GENERAL ROOF NOTES

- CONTRACTOR SHALL VERIFY EXISTING ROOF AND BUILDING CONDITIONS PRIOR TO BEGINNING DEMOLITION AND WORK.
- DIMENSIONS SHOWN ARE APPROXIMATED FROM OWNER PROVIDED AS-BUILTS. GO TO FIELD VERIFY.
- CONTRACTOR SHALL VERIFY ALL EXISTING ROOF FLASHINGS, DRAINS, GUTTERS, DOWNSPOUTS, ROOF PENETRATIONS, EQUIPMENT, LADDERS, HATCHES, ACCESSORIES AND MISC. ROOF MOUNTED ITEMS TO DETERMINE EXTENT OF WORK REQUIRED PRIOR TO BEGINNING CONSTRUCTION.
- EXISTING ROOF TOP EQUIPMENT TO REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SECURE AND PROTECT THE EXISTING AREAS. CONTENTS THAT REMAIN, ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIAL AS REQUIRED FOR ROOF REPAIR AND REPLACEMENT. NOTIFY ARCHITECT PRIOR TO ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIAL TO REMAIN.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN INSTALLATION OF NEW CONSTRUCTION SO AS TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE OR INTERIOR AREAS OF THE EXISTING BUILDING.
- CONTRACTOR SHALL NOT USE ANY PART OF EXISTING ROOF AS LAYDOWN AREA FOR CONSTRUCTION. PROTECT EXISTING ROOF DRAINS FROM BEING BLOCKED BY FOREIGN OBJECTS BEFORE, DURING AND AFTER CONSTRUCTION. DO NOT ALLOW DEBRIS TO ENTER ROOF DRAINS AND GUTTERS SYSTEMS. VERIFY UNRESTRICTED DRAINAGE AT THE END OF EACH DAY.
- REFER TO ROOFING SPECIFICATIONS FOR DEMO OR PREPARATION INSTRUCTION OF EXISTING ROOFS.
- INSTALL NEW ROOFING SYSTEM AND COMPONENTS IN STRICT ACCORDANCE WITH ROOFING MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.
- CONTRACTOR SHALL ENSURE ALL ROOF DRAINS ARE FREE FLOWING BEFORE AND AFTER ROOF WORK.

DEMOLITION KEYNOTES

- DM-11 CAREFULLY REMOVE CANOPY TO PORTABLE BUILDINGS. PATCH AND REPAIR ANY DAMAGE TO EXISTING EXTERIOR WALL. COORDINATE RELOCATION OR TEMPORARY SUPPORT FOR ALL CONDUITS ABOVE CANOPIES. REFER TO ELEC FOR ADDITIONAL INSTRUCTIONS.
- DR-10 EXISTING FASCIA TO REMAIN - PREP FOR CLEANING, REPAIR, AND PAINT
- DS-30 DEMOLISH CANOPIES, CANOPY POSTS, & FOOTINGS IN THEIR ENTIRETY.
- DS-31 DEMOLISH CANOPIES, CANOPY POSTS, & FOOTINGS IN THEIR ENTIRETY. REMOVE WITH CARE TO MINIMIZE DAMAGE TO EXISTING BUILDING FASCIA & WALL FINISHES. PATCH AND REPAIR FASCIA OR WALL AS REQUIRED TO RECEIVE PAINT & / OR CANOPY FLASHING.

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1 281-387-4814

CIVIL/LANDSCAPING
BROOKS & BRADSHAW
281-559-9999

STRUCTURAL
DAILY ASSOCIATES
713-537-8801

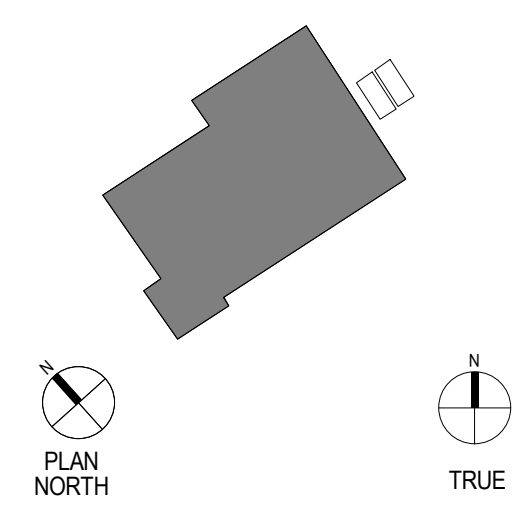
MEP
SKANS-THOMSEN
1 281-664-1900



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3975 Glendale Dr., Houston, TX 77068

KEY PLAN



CLIENT	IN2 PROJECT NUMBER
SIBD	2411
DATE	ISSUE
10.24.2025	ISSUE FOR PROPOSALS

REVISIONS		
No.	Description	Date
2	ADDENDUM 02	11.14.2025

ROOF PLAN - DEMO

AD-700



PORTABLE BUILDING GENERAL NOTES

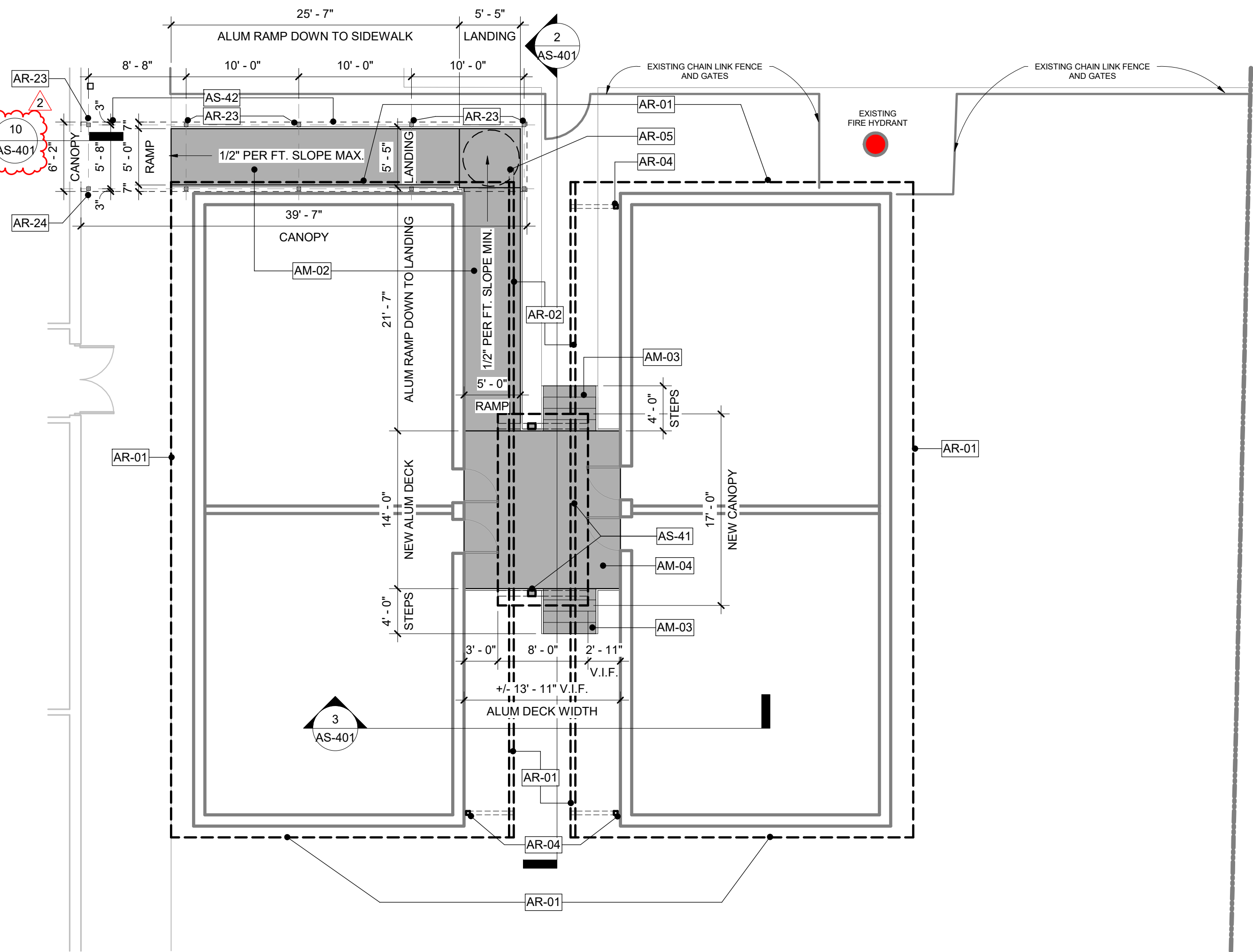
- A. REPLACE METAL CLAD FACIA TYPICAL FOR BOTH PORTABLE BUILDINGS.
B. INSTALL GUTTER AND DOWNSPOUTS AS INDICATED.
C. REMOVE EXISTING WOOD RAMPS AND STAIRS.
D. INSTALL NEW PREFABRICATED MODULAR ALUMINUM RAMPS, STAIRS AND
RAILINGS. REFER TO SPECIFICATIONS 03200.
E. INSTALL NEW EXTRUDED ALUMINUM CANOPIES. REFER TO SPECIFICATIONS
10700.
F. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS REQUIRED PRIOR TO SHOP
DRAWING SUBMITTAL. COORDINATE CANOPY AND RAMP/STAIR LAYOUT WITH
EXISTING CONDITIONS.
G. CONTRACTOR SHALL NOT SCALE DRAWINGS

KEYNOTES

- AM-02 NEW PRE-FABRICATED ALUM. RAMP & LANDING
SYSTEM - RE: SPECIFICATIONS
AM-03 NEW PRE-FABRICATED ALUM. STEPS @ DECK - RE:
SPECIFICATIONS
AM-04 NEW PRE-FABRICATED ALUM. DECK CONNECTING
PORTABLE CLASSROOMS - RE: SPECIFICATIONS
AR-01 AT EXISTING PORTABLE ROOF PERIMETER
CHANGE OUT ALL METAL COVERED WOOD FASICA
& METAL EDGE FLASHING WITH NEW. COLOR TO
MATCH EXISTING PORTABLES (BRONZE COLOR)
AR-02 AT EXISTING PORTABLE ROOF EAVES OVER
DOORS, ADD NEW PRE-FINISHED METAL GUTTERS
& DOWNSPOUTS (ON EACH END) - 5 X 5 GUTTER
WITH 4 X 4 DOWNSPOUTS EA. END - COLOR TO
MATCH EXISTING (BRONZE COLOR)
AR-03 NEW 5"X6" PRE-FINISHED METAL GUTTER TO
MATCH EXISTING PORTABLES (BRONZE COLOR)
AR-04 NEW 4"X4" PRE-FINISHED METAL DOWNSPOUT TO
MATCH EXISTING PORTABLES (BRONZE COLOR)
AR-05 NEW OPEN END GUTTER WITH TONGUE EMPTYING
OUT WATER ONTO NEW CANOPY
AR-06 NEW PRE-FINISHED GUTTER HANGER
AR-07 NEW PRE-FINISHED METAL DRIP EDGE FLASHING
AR-08 NEW PRE-FINISHED METAL FASCIA WRAPPED
AROUND NEW FASICA BOARD
AR-09 NEW 1 X 8 TREATED WOOD FASCIA BOARD
AR-20 NEW ALUM METAL CANOPY ROOF DECK
AR-21 NEW ALUM CANOPY EDGE FLASHING
AR-22 NEW ALUM CANOPY CANTILEVERED GUTTER
BEAM
AR-23 NEW ALUM CANOPY DOWNSPOUT POST
AR-24 NEW ALUM CANOPY SUPPORT POST
AR-25 NEW ALUM CANOPY GUTTER BEAM
AR-26 NEW ALUM CANOPY ROOF DECK TO WALL
FLASHING
AR-27 CONT. BEAD OF SILICON SEALANT
AR-28 NEW 5'-0" H GALVANIZED CHAINLINK GATE & (2)
POSTS AT REBUILT BRICK SCREEN WALL - V.I.F.
THE WIDTH OF THE GATE +/- 4'-6" W
AS-41 NEW CANTILEVER ALUMINUM WALKWAY CANOPY
AT PORTABLES - RE: SHEET AS-401. FOR UNDER
CANOPY DECK LIGHTING - RE: ELECTRICAL
AS-42 NEW ALUMINUM WALKWAY CANOPY AT
PORTABLES - RE: SHEET AS-401. FOR UNDER
CANOPY DECK LIGHTING - RE: ELECTRICAL
AW-04 REBUILD BRICK SCREEN WALL WITH SALVAGED
BRICK TO MATCH & ALIGN WITH EXISTING
ADJACENT. EXISTING BRICK SCREEN WALL WAS
+/- 3'-10"W X 5'-6"H SCREEN WALL

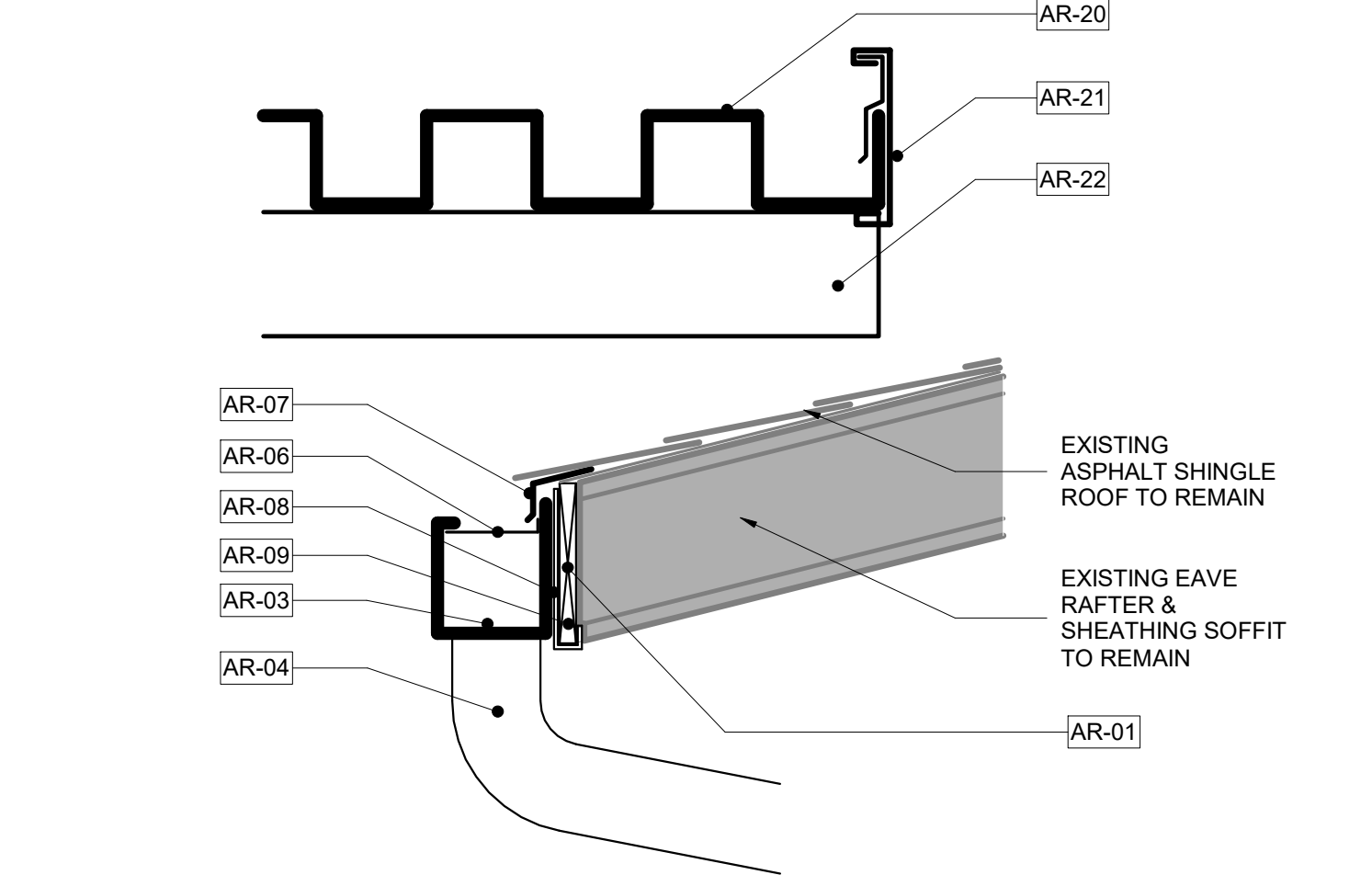
4 EXISTING PORTABLES PHOTOS

1/16" = 1'-0"



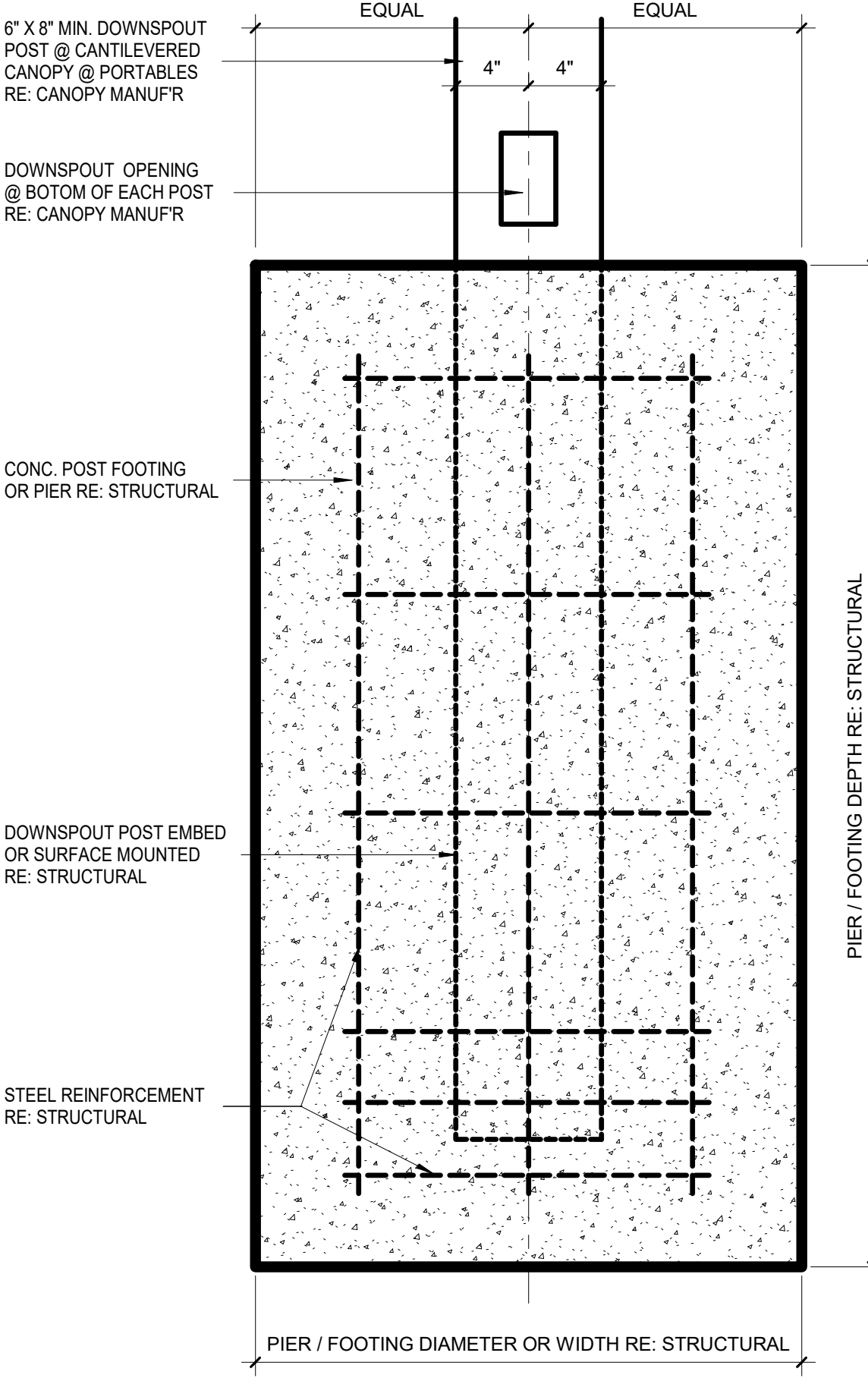
1 ENLNG PLAN PORTABLES

1/8" = 1'-0"



5 EXISTING PORTABLE - NEW GUTTER

1 1/2" = 1'-0"

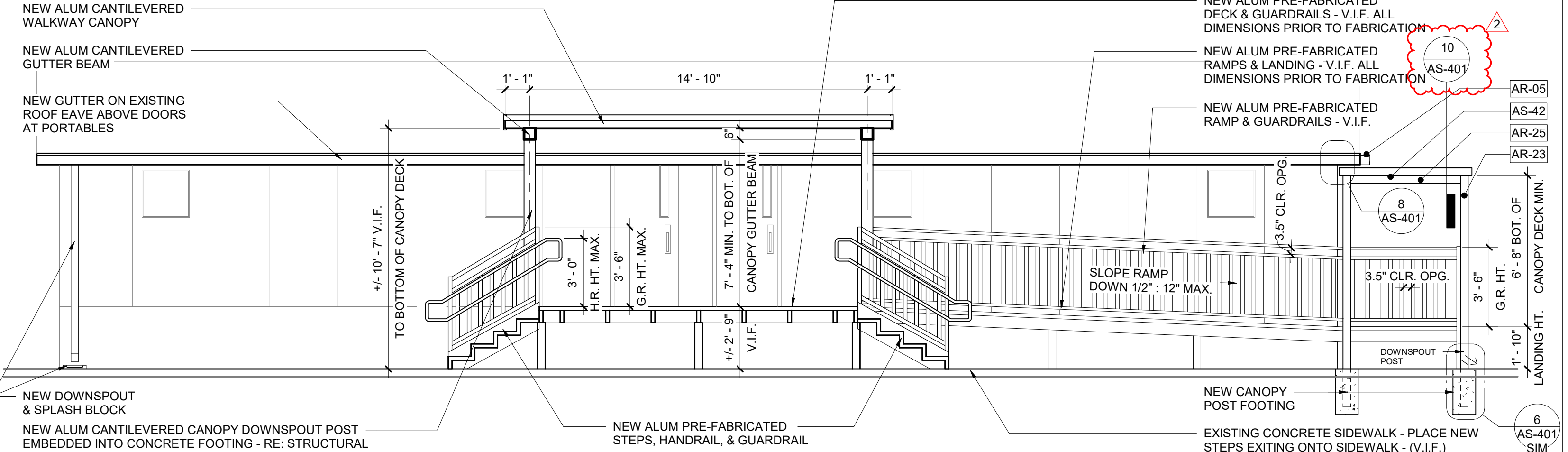


6 EXISTING PORTABLE - NEW CANOPY FOOTING

1 1/2" = 1'-0"

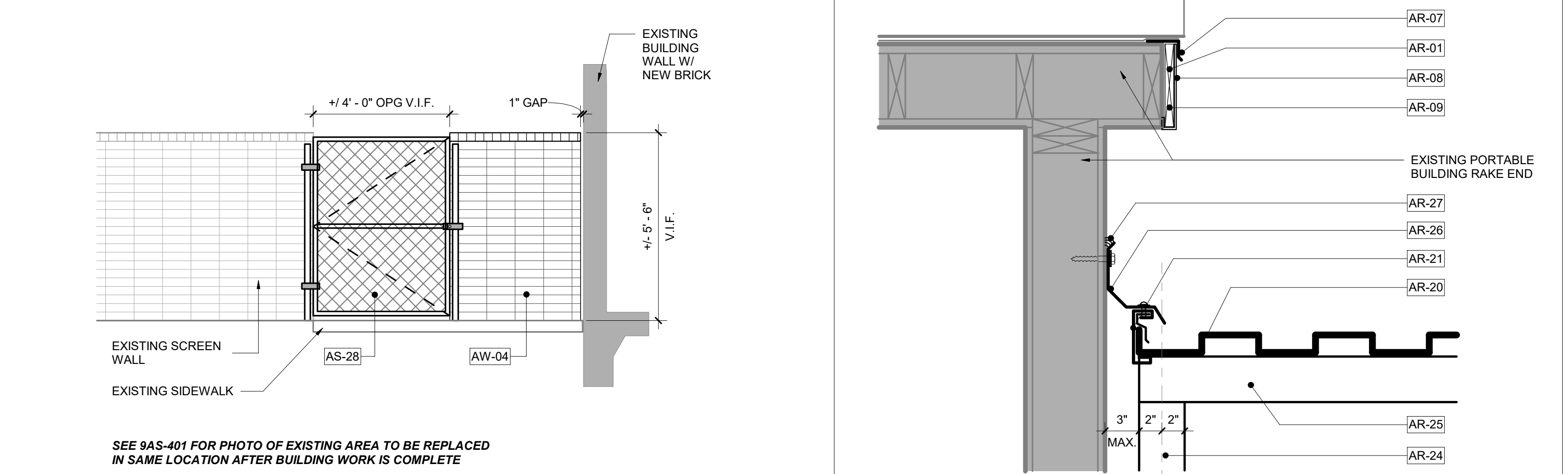
3 NEW CANOPY SECTION THRU PORTABLE WALKWAY

1/4" = 1'-0"



2 NEW CANOPY SECTION - LOOKING EAST BETWEEN PORTABLES

1/4" = 1'-0"



7 EXISTING SCREEN WALL & GATE ELEVATION

3/8" = 1'-0"

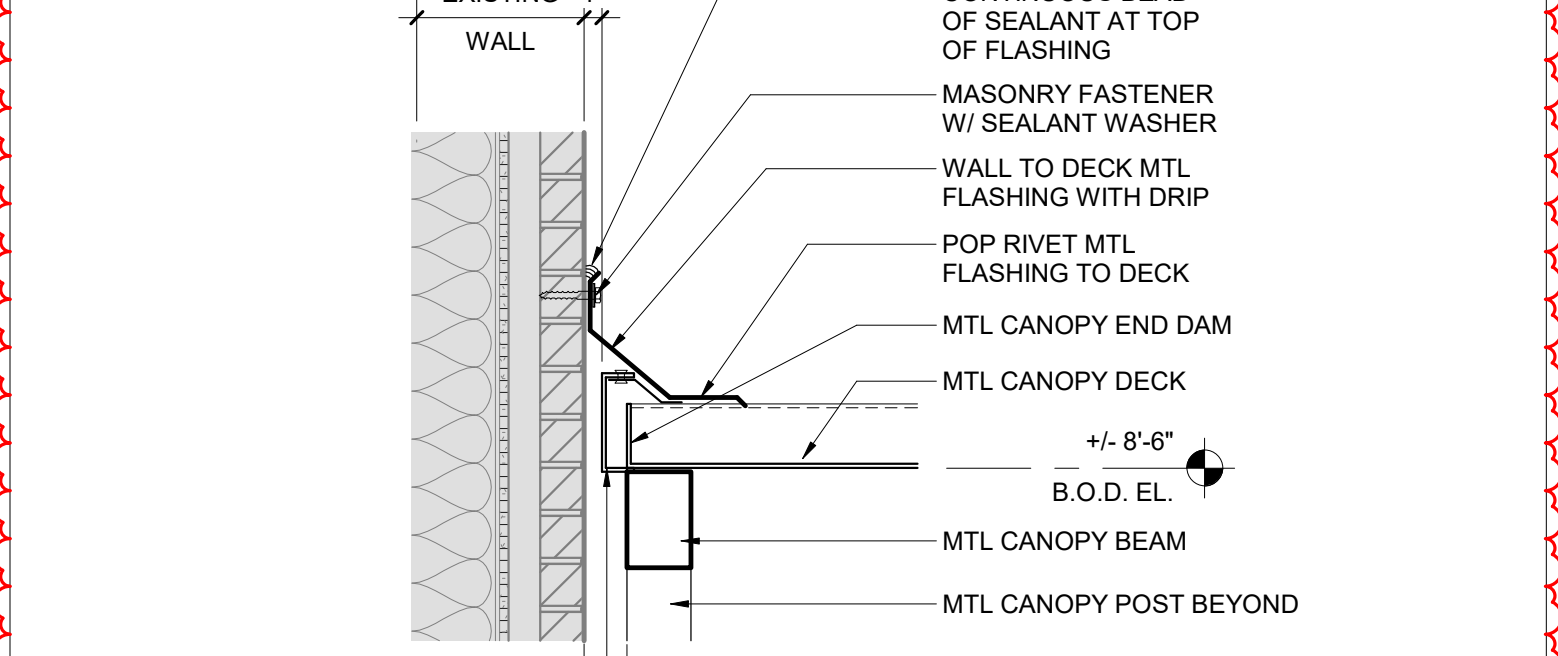


9 EXISTING SCREEN WALL & GATE

1/16" = 1'-0"

8 EXISTING PORTABLE - WALL TO CANOPY FLASHING

1 1/2" = 1'-0"

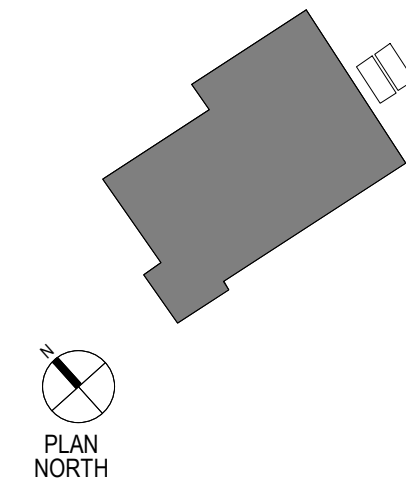


10 CANOPY END & WALL CONNECTION

1" = 1'-0"



KEY PLAN



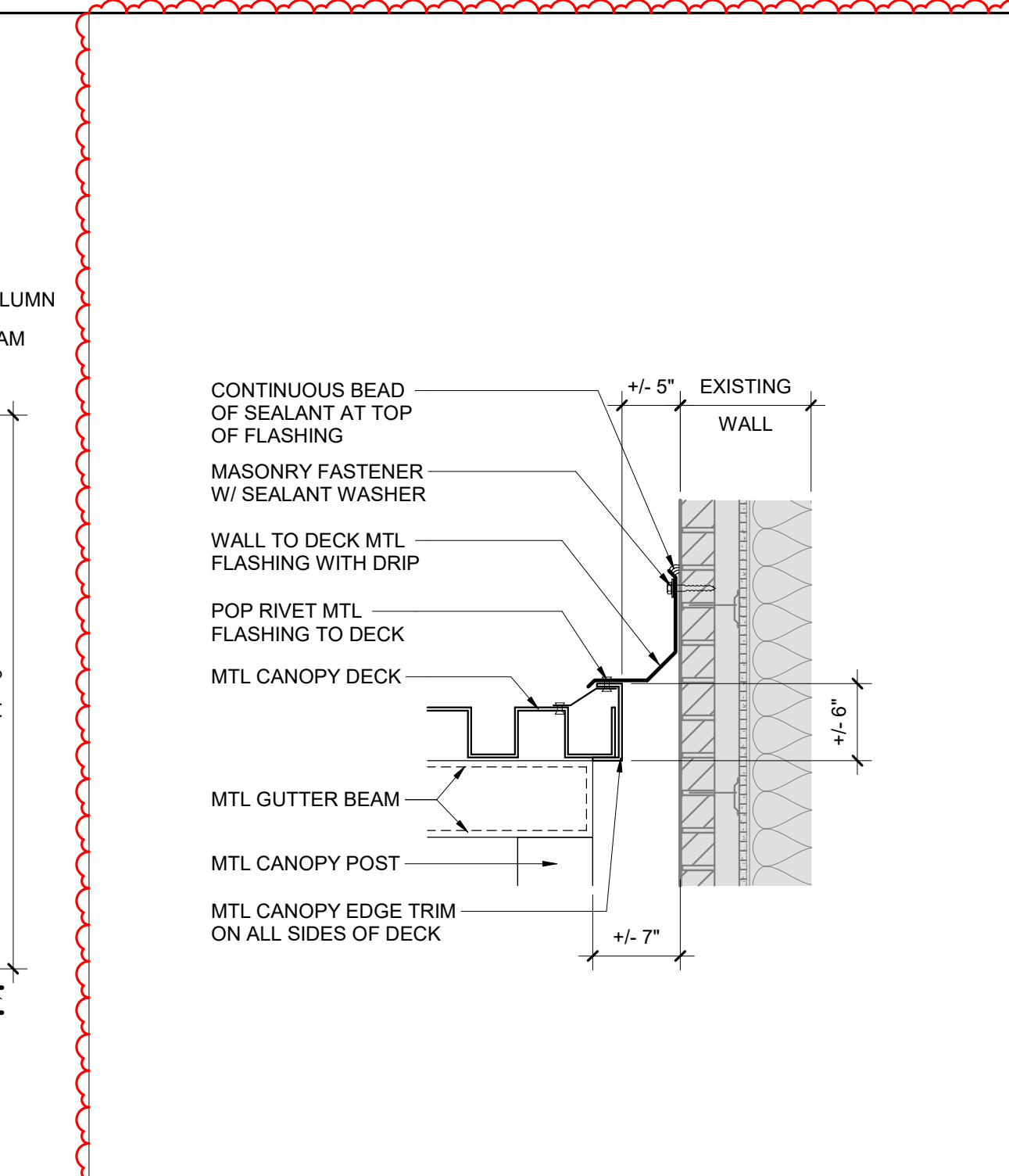
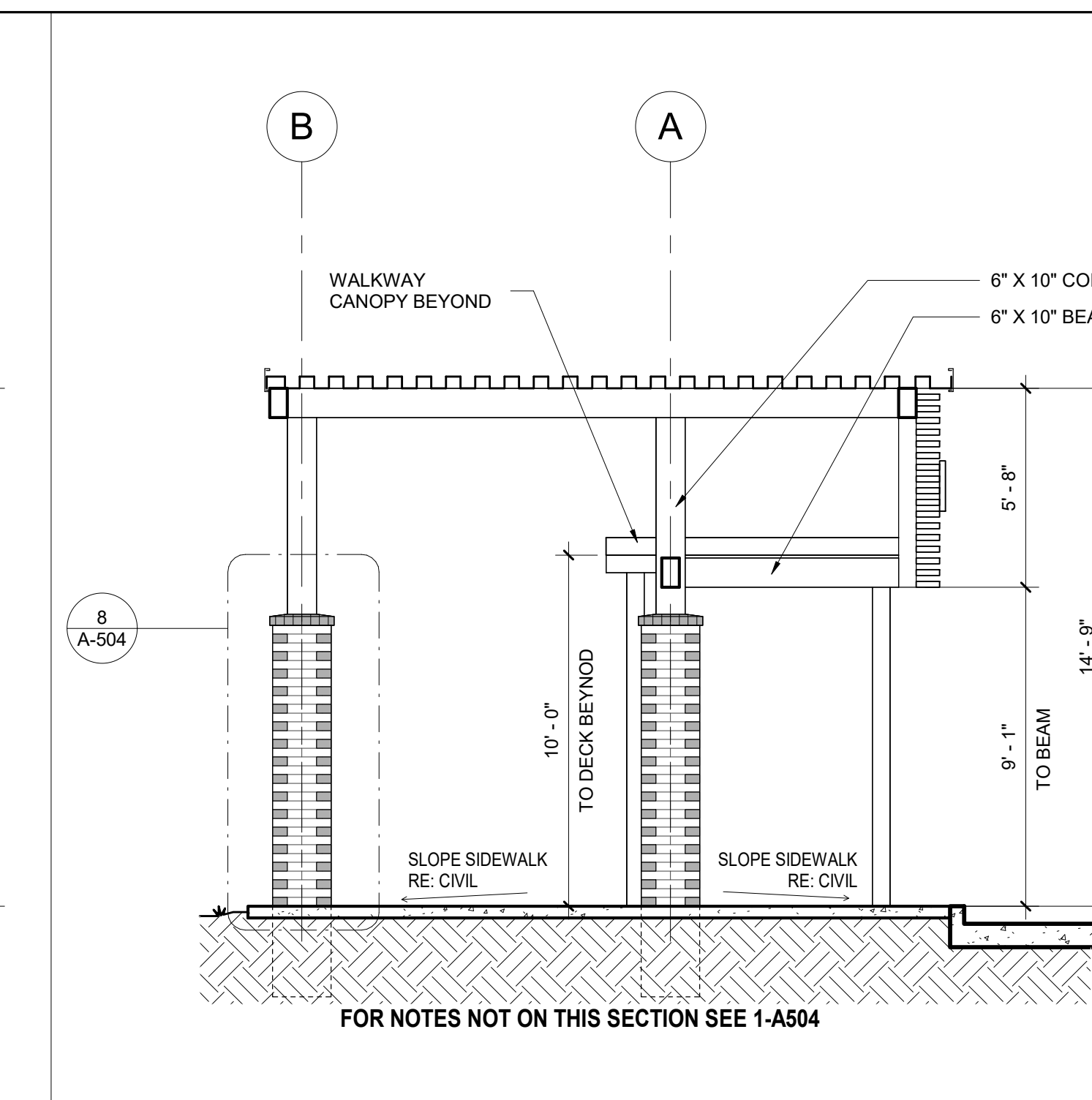
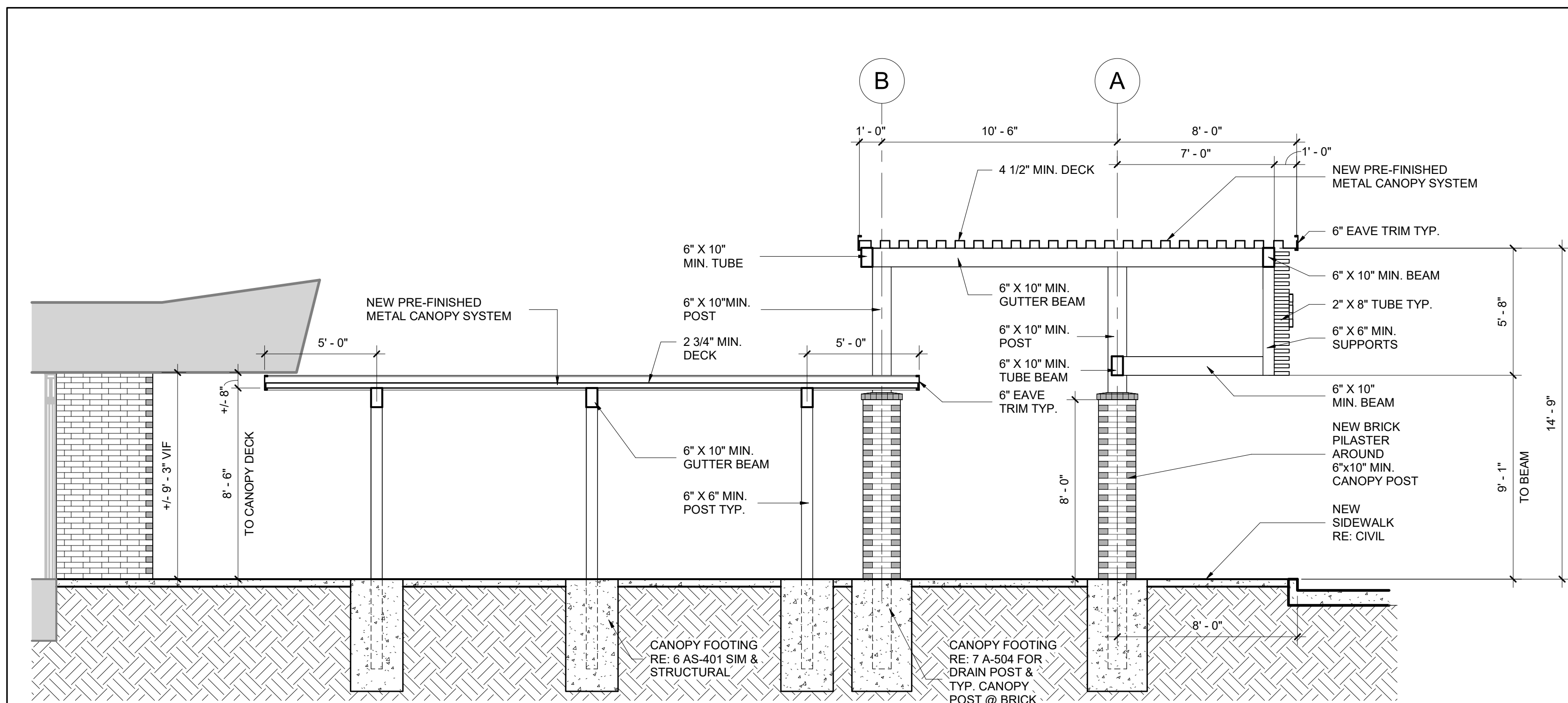
CLIENT	IN2 PROJECT NUMBER
SISD	2411
DATE	ISSUE
10.24.2025	ISSUE FOR PROPOSALS

REVISIONS		
No.	Description	Date

2	ADDENDUM 02	11.14.2025
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ENLARGED PORTABLES PLAN

AS-401



CANOPY GENERAL NOTES

REFER TO SPECIFICATIONS 10700 WALKWAY CANOPIES.

ENTRY CANOPY HEIGHT DIMENSIONS SHOWN ARE FROM BUILDING FINISH FLOOR HEIGHTS MAY VARY FROM SIDEWALK ELEVATIONS.

CONTRACTOR FIELD VERIFY ALL DIMENSIONS REQUIRED PRIOR TO SHOP DRAWINGS SUBMITTAL. COORDINATE CANOPY LAYOUT WITH EXISTING CONDITIONS.

DIMENSIONS SHOWN WITH V.E. (VERIFY IN FIELD) ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY PRIOR TO COMMENCING WORK.

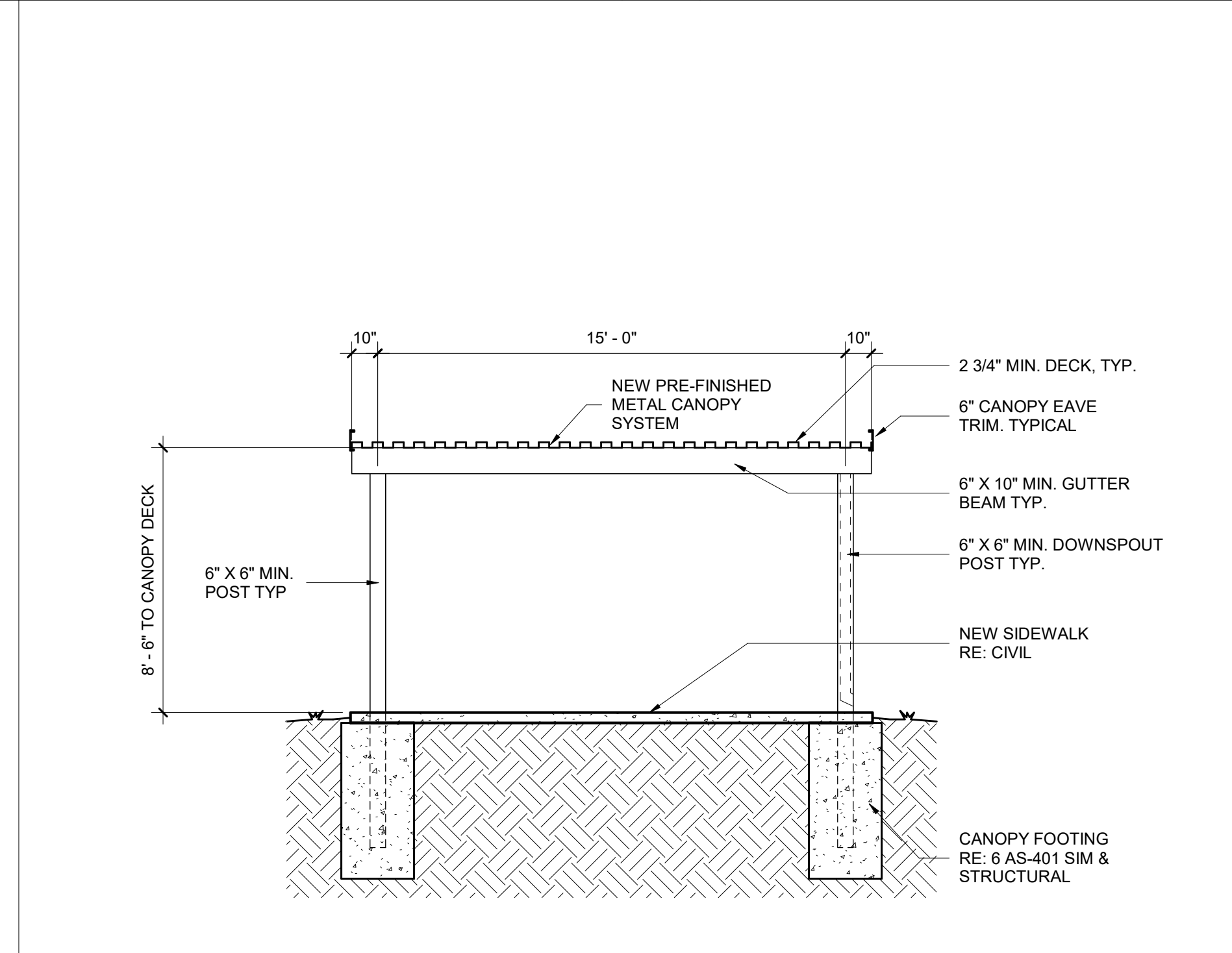
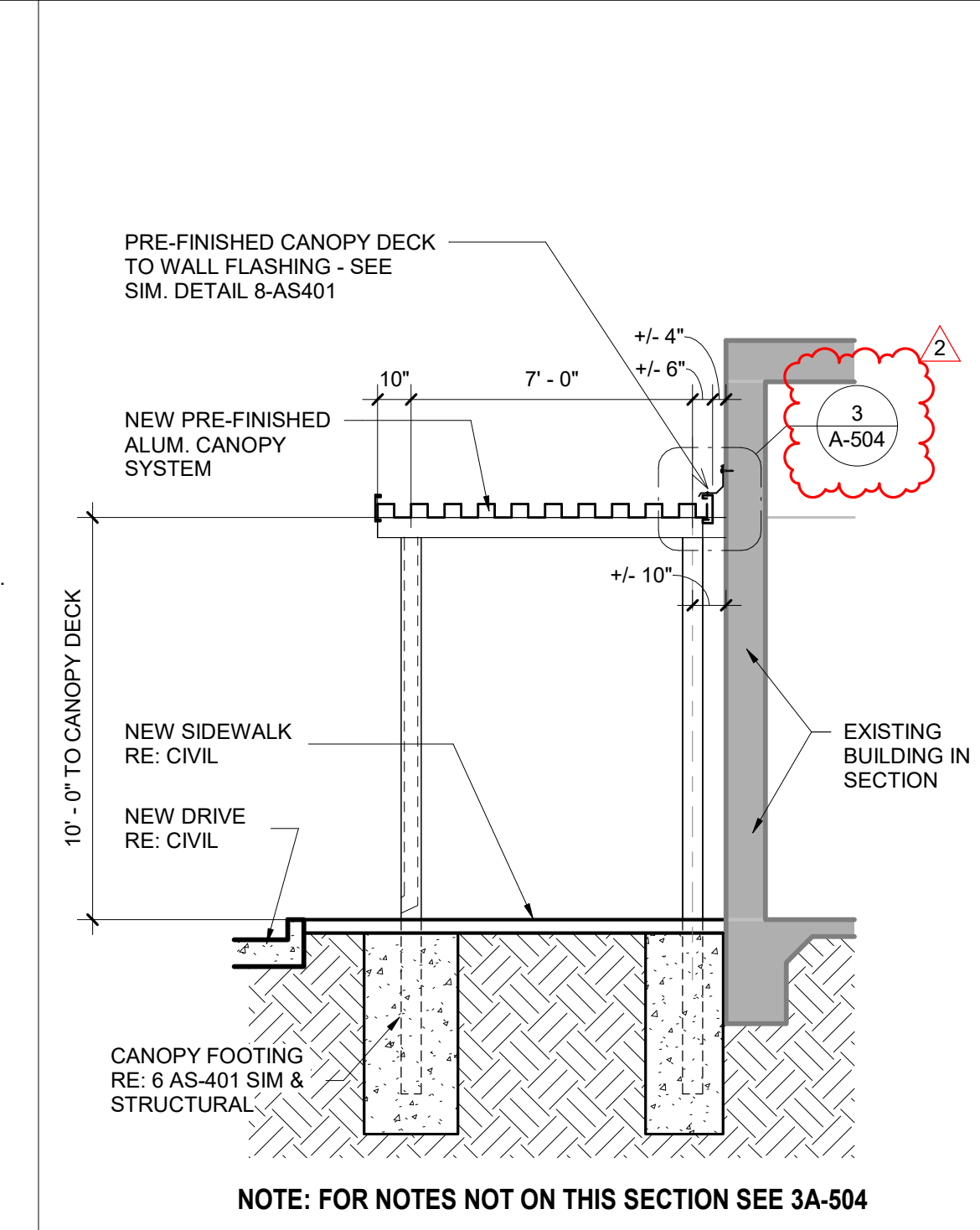
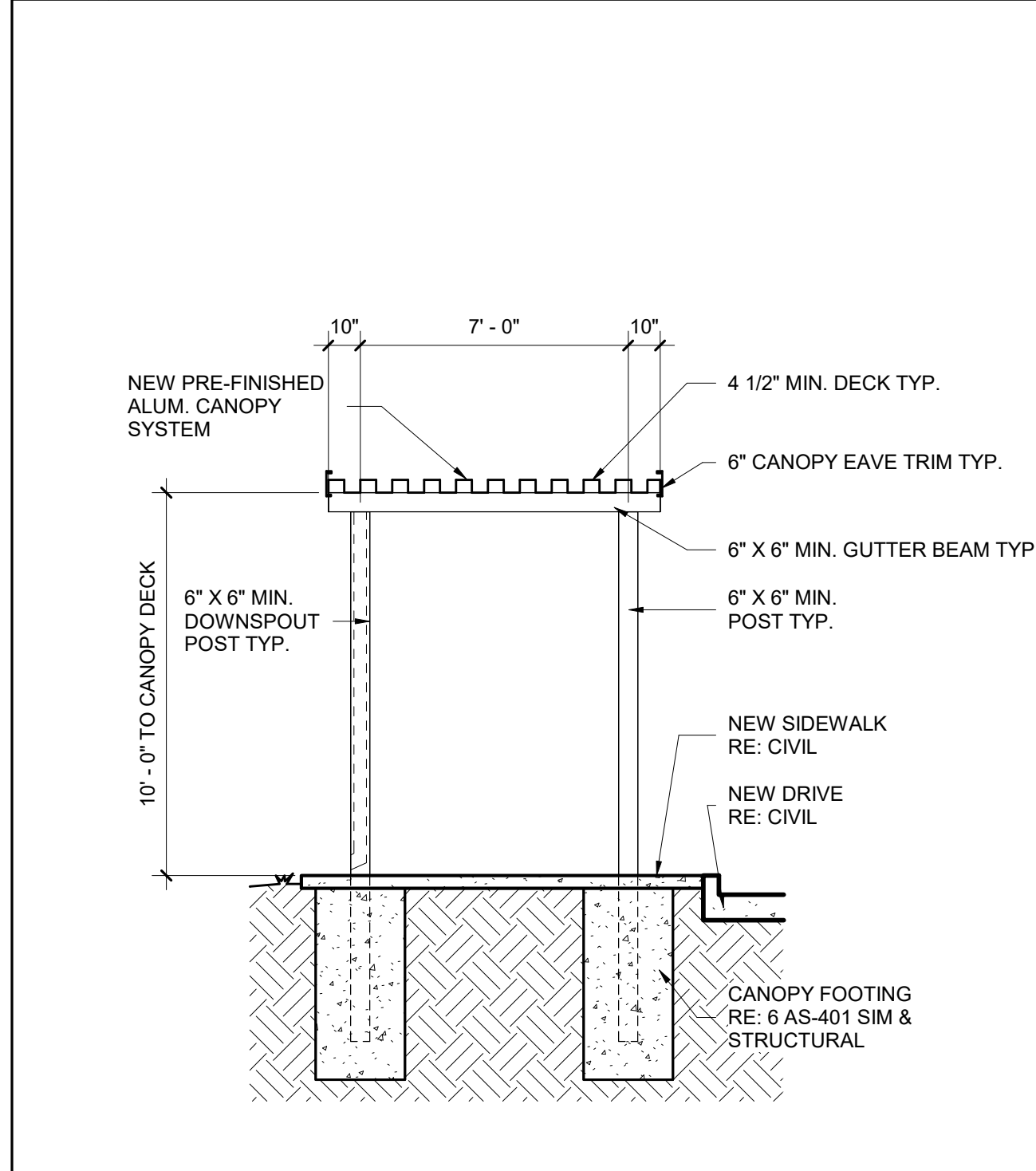
CONTRACTOR SHALL NOT SCALE DRAWINGS.

KEYNOTES

1 CANOPY SECTION #1
1/4" = 1'-0"

2 CANOPY SECTION #2
1/4" = 1'-0"

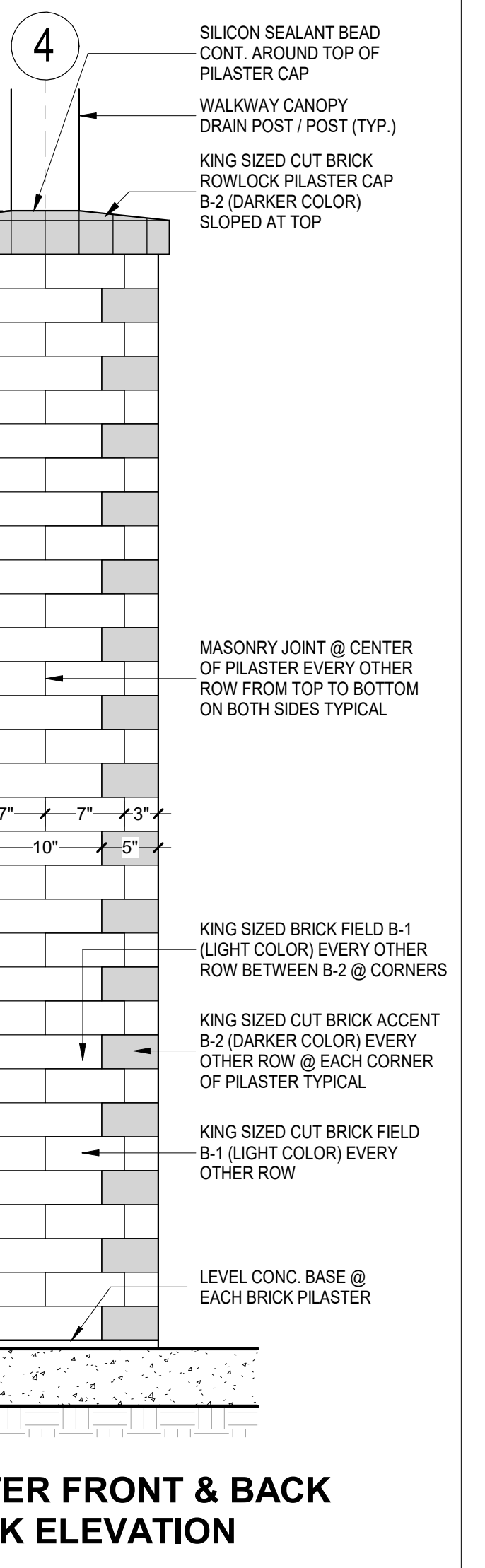
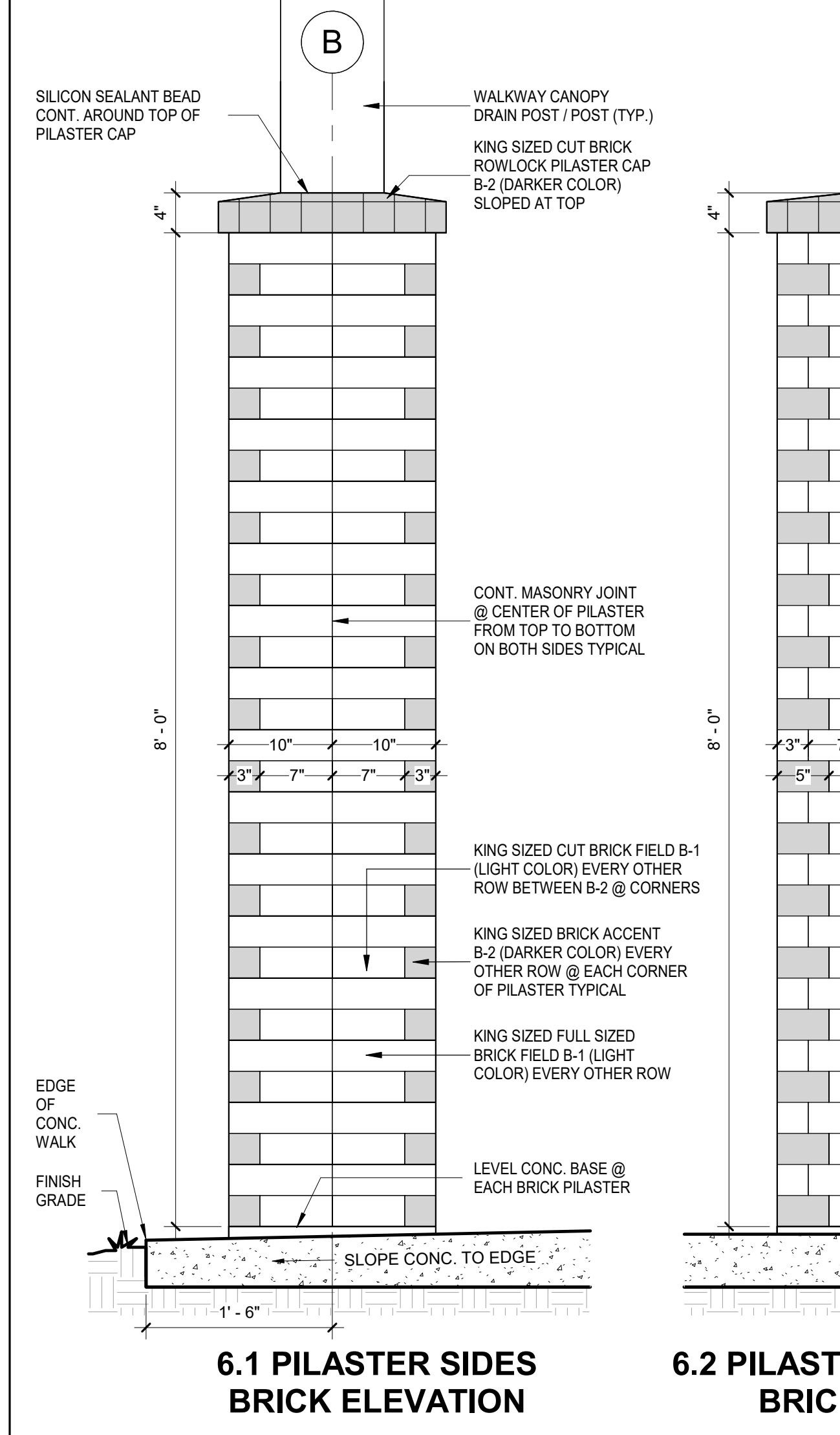
3 WALKWAY CANOPY FLASHING DETAIL
1" = 1'-0"



4 CANOPY SECTION #3
1/4" = 1'-0"

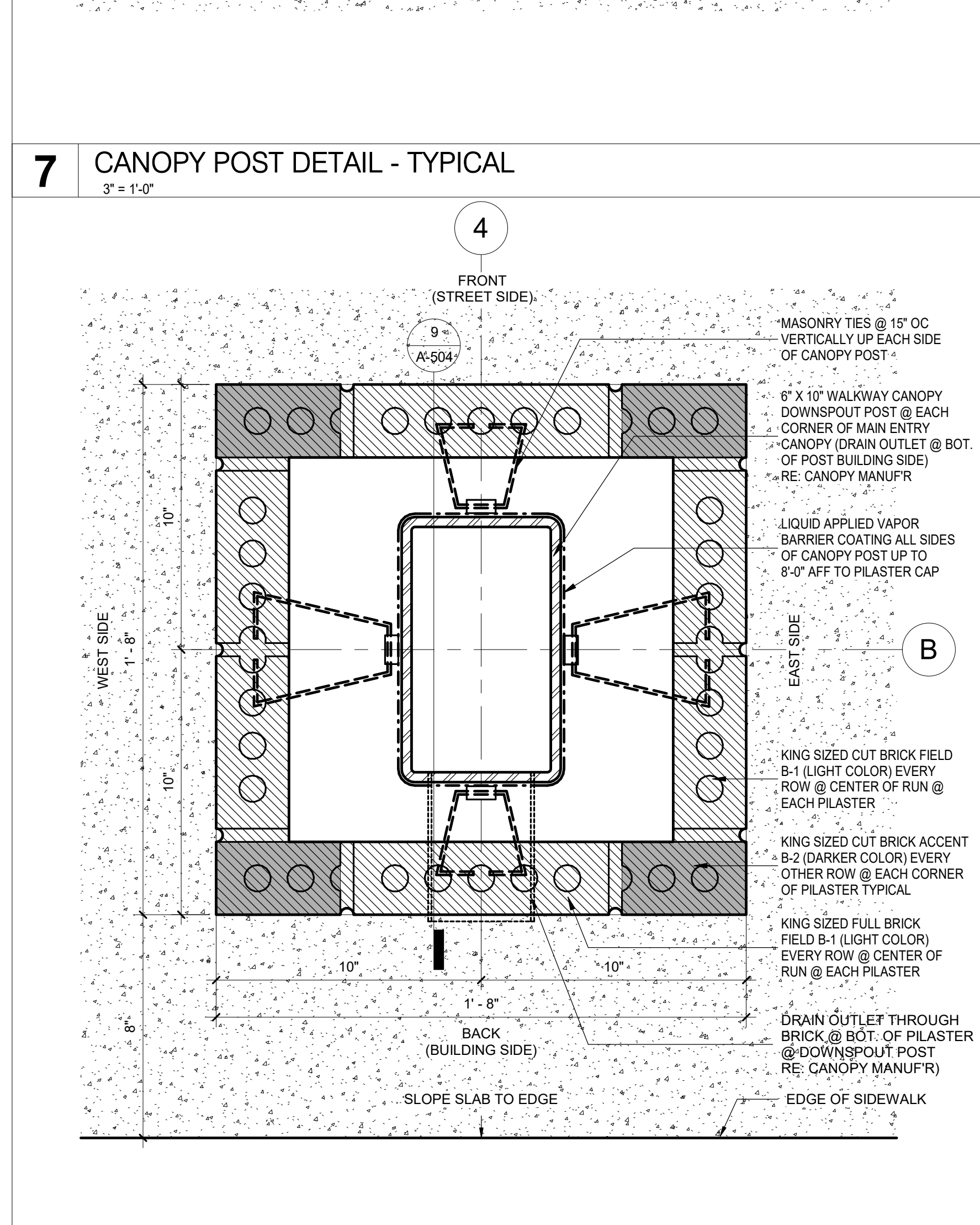
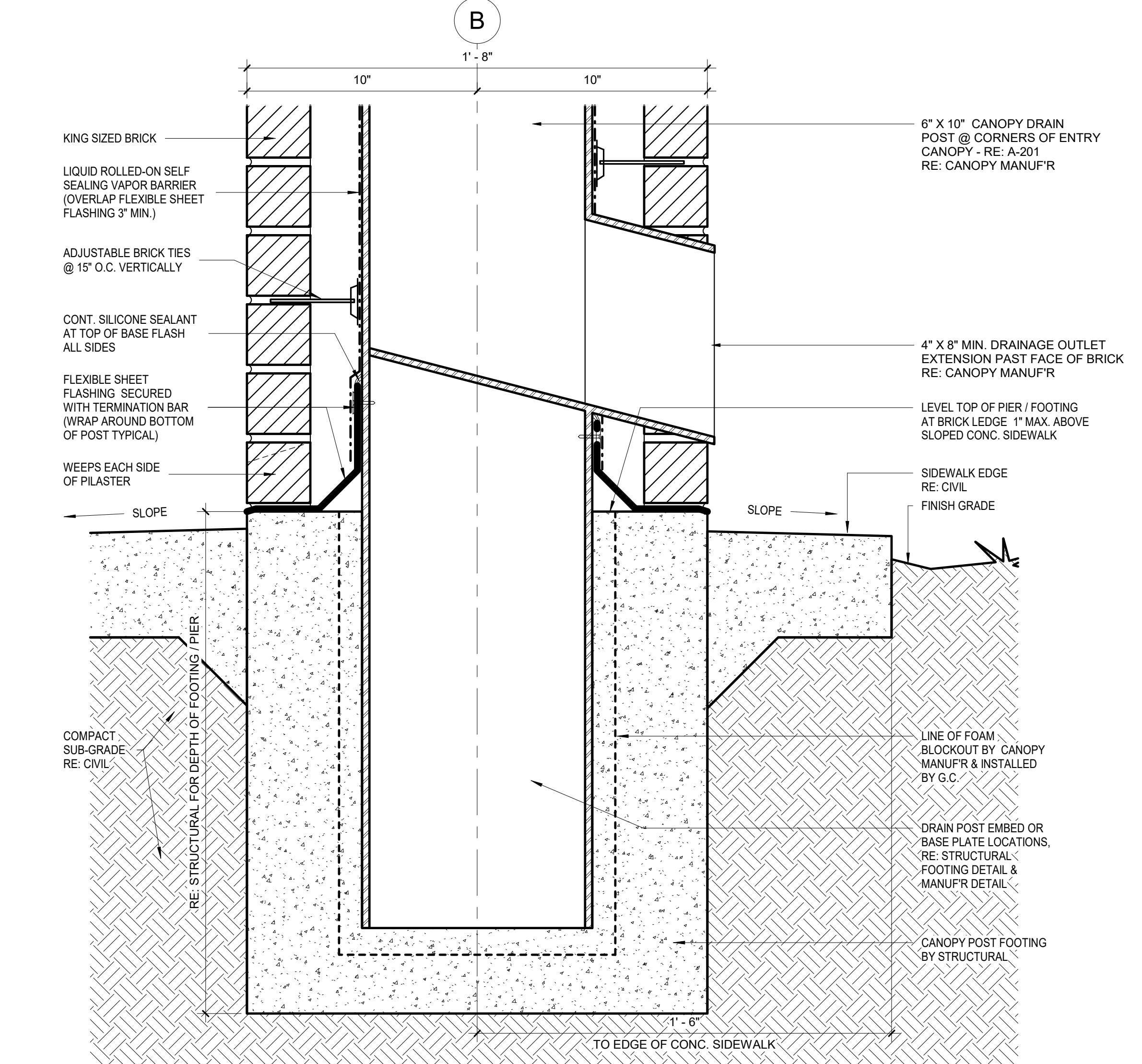
5 CANOPY SECTION #5
1/4" = 1'-0"

6 CANOPY SECTION #4
1/4" = 1'-0"



8 BRICK PILASTER - SIDE & FRONT ELEVATIONS
1" = 1'-0"

9 CANOPY DRAIN POST / POST SIM. SECTION
3" = 1'-0"



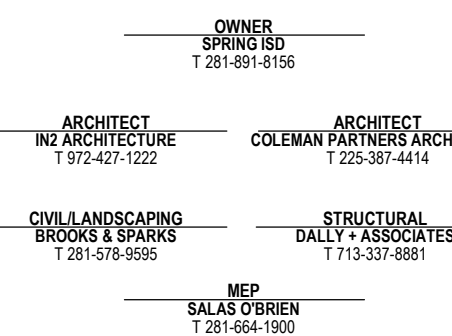
10 CANOPY DRAIN POST DETAIL
3" = 1'-0"



**NOTE: SEE SHEET AD-701
FOR PHOTOS OF EXISTING
ROOF CONDITIONS**



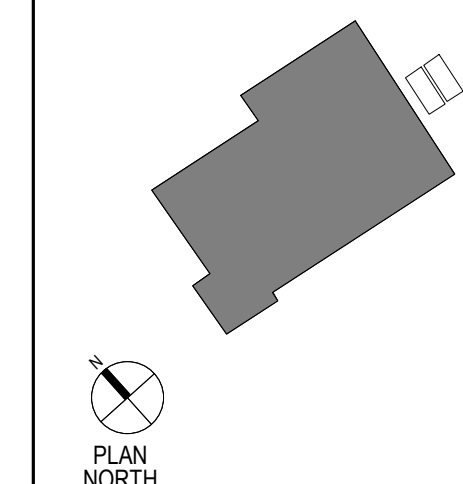
AR-01	AT EXISTING PORTABLE ROOF PERIMETER, CHANGE OUT ALL METAL COVERED WOOD FASCIA & METAL EDGE FLASHING WITH NEW. COLOR TO MATCH EXISTING PORTABLES (BRONZE COLOR)
AR-02	AT EXISTING PORTABLE ROOF EAVES OVER DOORS, ADD NEW PRE-FINISHED METAL GUTTERS & DOWNSPOUTS (ON EACH END) - 5" GUTTER WITH 2" DOWNSPOUTS. EAVE COLOR TO MATCH EXISTING (BRONZE COLOR)
AW-02	EXISTING PLASTER FASCIA TO REMAIN TYPICAL. CLEAN, PREP AND PAINT AS SCHEDULED



REYNOLDS ELEMENTARY MAINTENANCE IMPROVEMENTS

REYNOLDS ELEMENTARY SCHOOL

KEY PLAN



11.14.202

REVISIONS		
No.	Description	Date
2	ADDENDUM 02	11.14.2025

ROOF PLAN

A-701

LINETYPE LEGEND	
	EXISTING TO REMAIN
	DISCONNECT AND REMOVE

DEMOLITION / EXISTING DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION, AND WHEN AVAILABLE, EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION, AND IMMEDIATELY AFTER SUCH DISCREPANCIES ARE DISCOVERED. CONTRACTOR TO VERIFY EXISTING CONDITIONS ON FIELD AND NOTIFY ENGINEER IF THERE ARE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND DRAWINGS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS CALLED FOR ON THE DRAWINGS OR AS REQUIRED TO CLEAR THE AREAS OF NEW CONSTRUCTION.

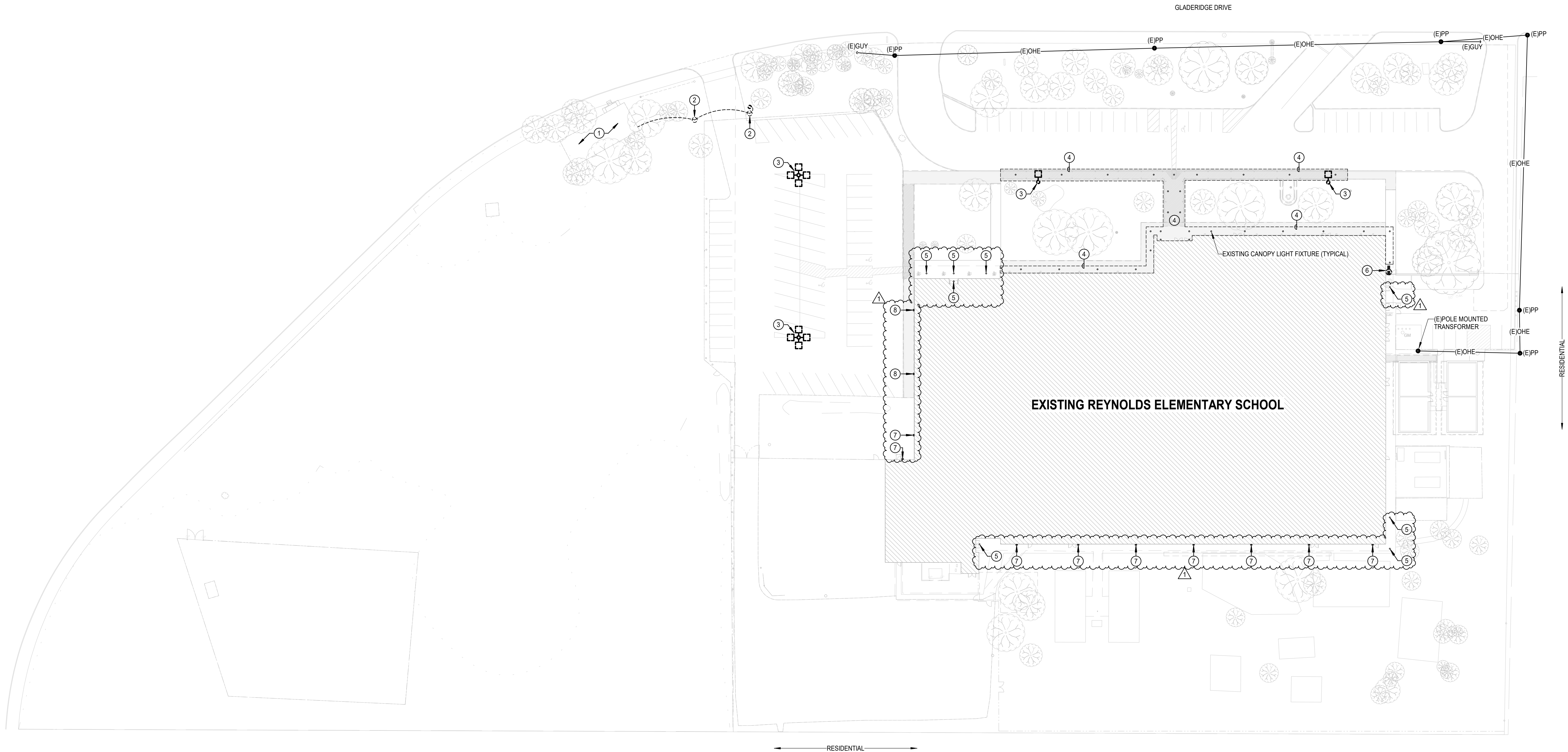
OWNER OR ITS REPRESENTATIVE SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL EQUIPMENT BEING REMOVED FROM THIS PROJECT. CONTRACTOR TO NOTIFY AN OWNER REPRESENTATIVE PRIOR TO DEMOLITION WORK TO DISCUSS ALL RETURNED ITEMS.

ELECTRICAL GENERAL NOTES:

1. DISCONNECT AND REMOVE ALL ABANDONED WIRING AND CONDUIT.
2. DISCONNECT AND REMOVE ALL CONDUIT, WIRE, AND DISCONNECTING MEANS ASSOCIATED WITH HVAC EQUIPMENT BEING REMOVED.
3. UNLESS NOTED OTHERWISE, ALL EXISTING ELECTRICAL SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, CONTACTORS, DISCONNECTS, ETC., SHALL REMAIN.
4. DISCONNECT AND REMOVE ALL ELECTRICAL FROM WALLS SCHEDULED TO BE DEMOLISHED AND AS SHOWN UNLESS INDICATED OTHERWISE. DISCONNECT BRANCH CIRCUIT BACK TO NEAREST JUNCTION BOX ABOVE CEILING SPACE FOR RE-USE. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT EXTENT OF WALL DEMOLITION.
5. EXCEPT AS OTHERWISE NOTED, ELECTRICAL WORK OR MATERIAL RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED. OLD UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED (CONCEALED) CONDUITS. OUTLETS SHALL BE PROVIDED WITH BLANK COVERS. ANY CONDUITS OUT OF MASONRY SURFACE SHALL BE CUT INTO SURFACE AND PATCHED.
6. CONTRACTOR TO FILL IN ALL HOLES LEFT BY THE DEMOLITION OF EXISTING CONDUIT PENETRATIONS.

ELECTRICAL KEYED NOTES:

1. DISCONNECT AND REMOVE ALL ELECTRICAL ASSOCIATED WITH REMOVAL OF EXISTING BUILDING BACK TO SOURCE.
2. DISCONNECT AND REMOVE EXISTING POWER POLE AND ASSOCIATED TRIPLEX OVERHEAD ELECTRICAL BACK TO SOURCE.
3. EXISTING POLE LOCATION. DISCONNECT AND REMOVE EXISTING LIGHT POLE AND FIXTURE AND RETURN TO OWNER. REMOVE EXISTING POLE BASE TO 8" BELOW FINISHED GRADE. REMOVE CONDUITS BACK TO SOURCE.
4. DISCONNECT AND REMOVE EXISTING CANOPY LIGHTING AND ASSOCIATED CONDUIT/WIRE BACK TO SOURCE.
5. **ALTERNATE PRICING:** DISCONNECT AND REMOVE EXISTING CANOPY LIGHT AND REPLACE WITH NEW; LEAVE CIRCUITRY INTACT FOR RE-USE.
6. TEMPORARILY DISCONNECT AND REMOVE EXISTING 250V, 60A RECEPTACLE BACK TO NEAREST INDOOR JUNCTION BOX TO FACILITATE REMOVAL OF EXISTING BRICK EXTERIOR WALL. LEAVE CIRCUITRY INTACT FOR RE-USE.
7. **ALTERNATE PRICING:** DISCONNECT AND REMOVE EXISTING WALL MOUNTED LIGHT AND REPLACE WITH NEW; LEAVE CIRCUITRY INTACT FOR RE-USE.
8. DISCONNECT AND REMOVE EXISTING WALL MOUNTED LIGHTING AND ASSOCIATED CONDUIT/WIRE BACK TO NEAREST ACTIVE JUNCTION BOX. CONTINUITY OF EXISTING CIRCUITRY TO REMAIN. PROVIDE BLANK STAINLESS STEEL COVERPLATE FOR EXISTING OUTLET BOX.



1 ELECTRICAL DEMOLITION SITE PLAN
Scale: 1" = 40'-0"

**REYNOLDS ELEMENTARY
MAINTENANCE IMPROVEMENTS**

REYNOLDS ELEMENTARY SCHOOL
3015 Glenborough St., Houston, TX 77188

KEY PLAN

Bradley Kalman
BRADLEY KALMANS
80219
LICENSED
11.14.25

CLIENT	IN2 PROJECT NUMBER
SUSD	2411
DATE	ISSUE
10.24.2025	ISSUE FOR PROPOSALS

REVISIONS		
No.	Description	Date
1	ADDENDUM 2	11-14-2025

**ELECTRICAL
DEMOLITION SITE
PLAN**

ELECTRICAL GENERAL NOTES:

1. CALL 811 PRIOR TO ANY DIGGING/TRENCHING.
2. REFER TO CIVIL DRAWINGS FOR FINAL ROUTING AND DEPTH OF ALL UNDERGROUND UTILITIES.
3. CONTRACTOR TO COORDINATE FINAL LOCATION OF ALL CONDUITS AS PART OF DIVISION 26 WITH PLUMBING, TECHNOLOGY AND ALL OTHER TRADES.

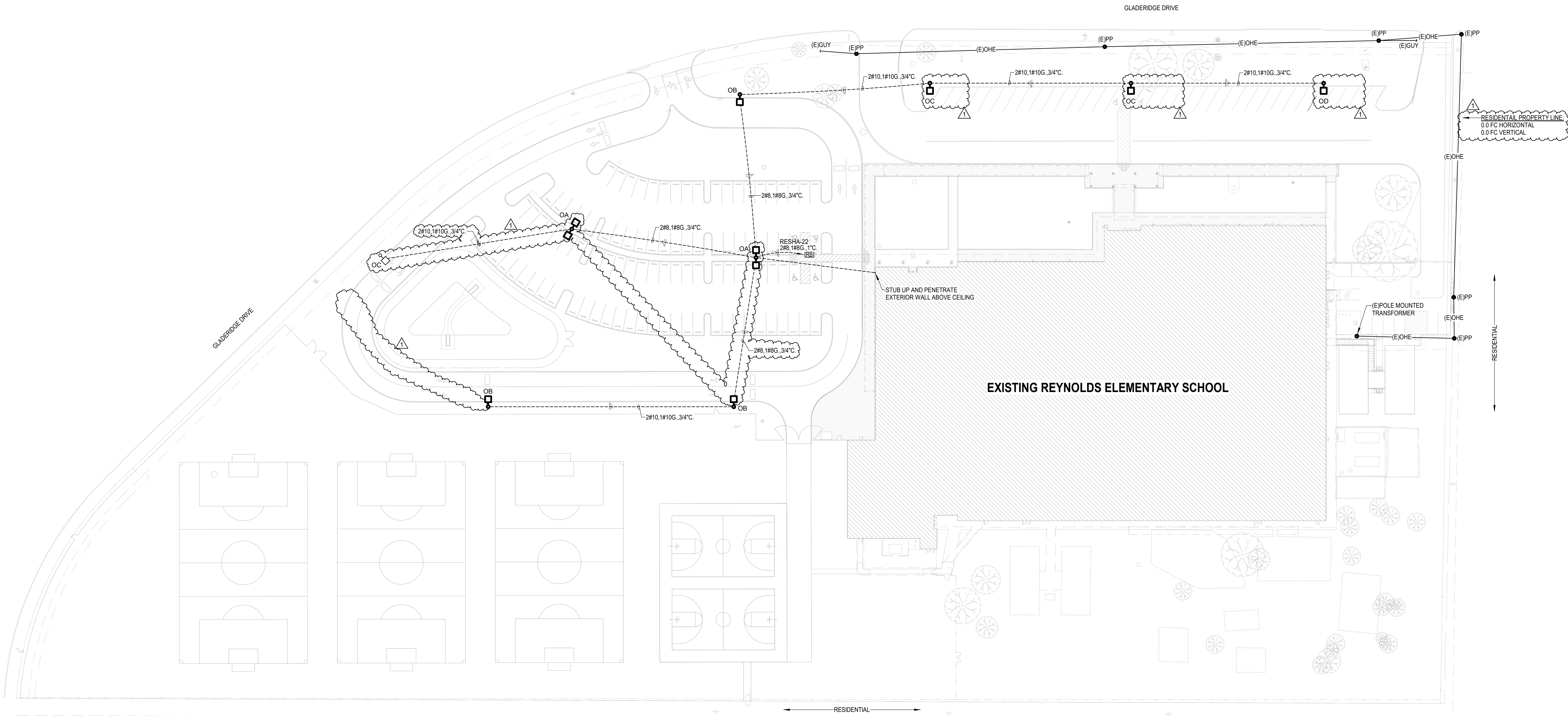
SITE LIGHTING FIXTURE SCHEDULE										
Type Mark	CATALOG NUMBER			MOUNTING	LAMP TYPE	CCT	CRI	VOLTAGE	LOAD	REMARKS
	MANUFACTURER	MODEL								
OA	MCGRRAW EDISON	GALN-S4MD-840-U-SWQ-BZ-LCP		POLE MOUNT 2 @ 180	32,029L LED	4000 K	80	277	490 W	TYPE V WIDE AREA LUMINAIRE AND BRONZE FINISH. MOUNT ON 30' POLE WITH BRONZE POWDER COAT OVER GALVANIZING. POLE: KW #RTSP30-7.5-11-K213-DM2180-BC
OB	MCGRRAW EDISON	GALN-S4MD-840-U-T2-BZ-LCP		POLE MOUNT 1 @ 90	30,777L LED	4000 K	80	277	245 W	TYPE II WIDE AREA LUMINAIRE AND BRONZE FINISH. MOUNT ON 30' POLE WITH BRONZE POWDER COAT OVER GALVANIZING. POLE: KW #RTSP30-7.5-11-K213-DM10-BC
OC	MCGRRAW EDISON	GALN-S4MD-840-U-T4FT-BZ-LCP		POLE MOUNT 1 @ 90	30,535L LED	4000 K	80	277	245 W	TYPE IV FORWARD THROW AREA LUMINAIRE AND BRONZE FINISH. MOUNT ON 30' POLE WITH BRONZE POWDER COAT OVER GALVANIZING. POLE: KW #RTSP30-7.5-11-K213-DM10-BC
OD	MCGRRAW EDISON	GALN-S4MD-840-U-T4W-BZ-LCP		POLE MOUNT 1 @ 90	30,625L LED	4000 K	80	277	245 W	TYPE IV WIDE AREA LUMINAIRE AND BRONZE FINISH. MOUNT ON 30' POLE WITH BRONZE POWDER COAT OVER GALVANIZING. POLE: KW #RTSP30-7.5-11-K213-DM10-BC

APPROVED MANUFACTURERS:

ROUND POLE - VALMONT, KW
AREA LUMINAIRE - VISIONAIRE, LITHONIA, MCGRRAW EDISON, LSI, KIM, GAROCO

THE ABOVE LIGHTING MANUFACTURERS SUBSTITUTION LIST DOES NOT GUARANTEE APPROVAL. APPROVAL WILL BE DETERMINED AFTER REVIEW OF SHOP DRAWING TO DETERMINE IF THE FIXTURE OR POLE SUBMITTED MEETS OR EXCEEDS THE DESIGN STANDARDS AND PERFORMANCE REQUIRED OF THE ACTUAL FIXTURE SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CAREFULLY SELECT SUBSTITUTIONS FOR THE SPECIFIED LIGHT FIXTURES FROM THE APPROVED LIGHTING MANUFACTURERS LISTED ABOVE. WHERE SPECIFIC OPTIONS/ACCESSORIES ARE SPECIFIED, THEY SHALL BE PROVIDED AS SPECIFIED WITH THE SUBSTITUTION.

DUE TO THE WIDE RANGE OF FIXTURE QUALITIES OFFERED BY EACH MANUFACTURER, THE APPROVED LIGHTING MANUFACTURERS SUBSTITUTION LIST IS NOT INTENDED TO INDICATE THAT ANY OR ALL MANUFACTURERS LISTED WILL HAVE SUITABLE SUBSTITUTIONS FOR THE LIGHT FIXTURES OR POLES SPECIFIED IN THE LIGHT FIXTURE SCHEDULE. SHOP DRAWING DELAYS AS A RESULT OF INAPPROPRIATE SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

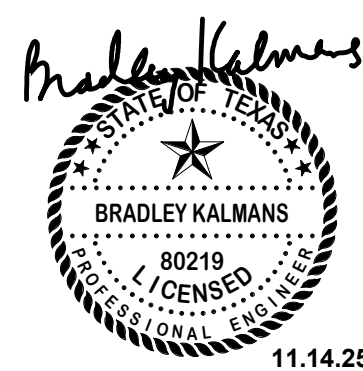
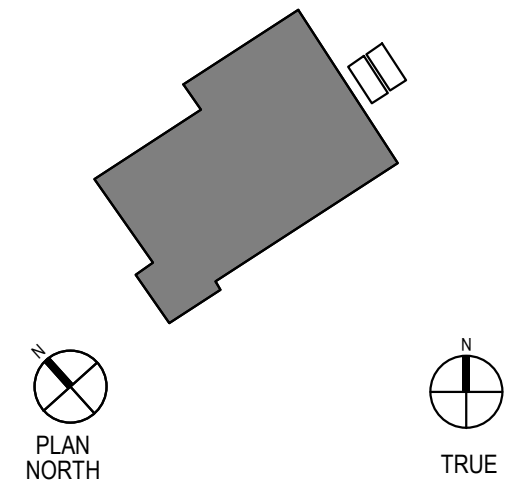


1 ELECTRICAL SITE PLAN
Scale: 1" = 40'-0"

REYNOLDS ELEMENTARY
MAINTENANCE IMPROVEMENTS

REYNOLDS ELEMENTARY SCHOOL
3015 Gladeridge Dr., Houston, TX 77068

KEY PLAN



CLIENT	IN2 PROJECT NUMBER
SISD	2411
DATE	ISSUE
10.24.2025	ISSUE FOR PROPOSALS

REVISIONS		
No.	Description	Date
1	ADDENDUM 2	11/14/2025

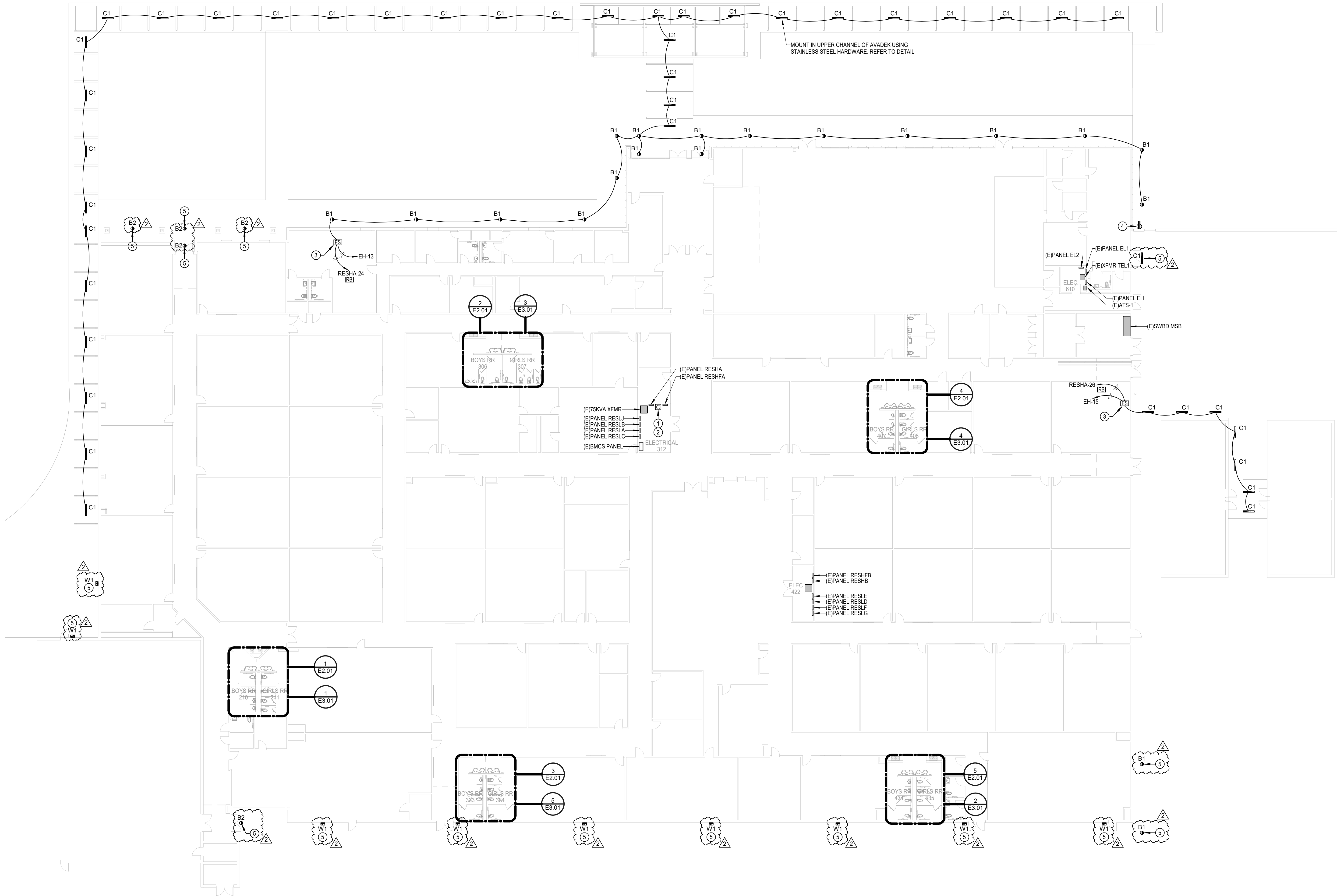
ELECTRICAL SITE
PLAN

ELECTRICAL GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, ALL EXISTING ELECTRICAL SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, CONTACTORS, DISCONNECTS, ETC., SHALL REMAIN.
2. VERIFY ALL DEMOLITION AND NEW WORK WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL KEYED NOTES:

- ① DISCONNECT AND REMOVE EXISTING CONTACTOR AND REPLACE WITH NEW.
② PROVIDE NEW LIGHTING CONTACTORS 'C1' AND 'C2':
• C1 - CANOPY LIGHTS, RE-USE EXISTING BMCS CONTROL POINT.
• C2 - PARKING LOT LIGHTS, RE-USE EXISTING BMCS CONTROL POINT.
③ PROVIDE NEW UL1008 EMERGENCY TRANSFER DEVICE FOR CANOPY EGRESS LIGHTING, LOCATE IN ELECTRICAL 312.
④ RE-INSTALL EXISTING 250V, 60A RECEPTACLE ON BRICK WALL AND CONNECT TO EXISTING CIRCUITRY PRESERVED DURING DEMOLITION.
⑤ **ALTERNATE PRICING:**
PROVIDE NEW LIGHT FIXTURE IN EXISTING LOCATION, CONNECT TO EXISTING CIRCUIT PRESERVED DURING DEMOLITION, RE-USE EXISTING BMCS CONTROLS.

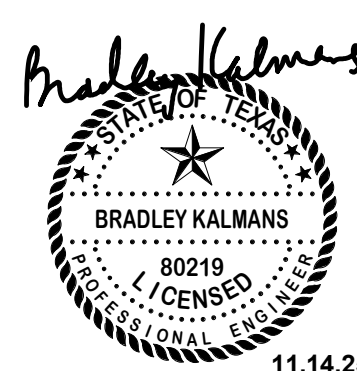
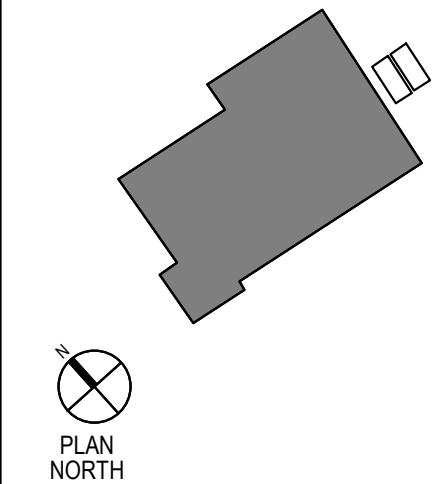


1 ELECTRICAL COMPOSITE PLAN
Scale: 1/16" = 1'-0"

REYNOLDS ELEMENTARY
MAINTENANCE IMPROVEMENTS

REYNOLDS ELEMENTARY SCHOOL
3000 Gessner Rd., Houston, TX 77068

KEY PLAN



CLIENT	IN2 PROJECT NUMBER
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10/24/2025	ISSUE FOR PROPOSALS

REVISIONS		
No.	Description	Date
1	ADDENDUM 1	11/07/2025
2	ADDENDUM 2	11/14/2025

ELECTRICAL
COMPOSITE PLAN