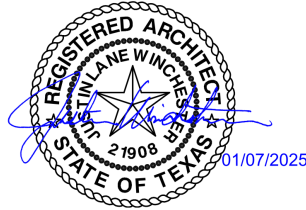


Addendum

Distribution	<input checked="" type="checkbox"/> Owner	<input checked="" type="checkbox"/> Consultant(s)	<input checked="" type="checkbox"/> Bidders	<input type="checkbox"/> Other ..
From	Mariela Flores, AIA, NCARB Page Southerland Page, Inc. 1100 Louisiana, Suite One Houston, TX 77002	Owner	Cypress Fairbanks Independent School District	
Project	2024 Cy Ridge HS Renovations RFP 24-02-5752-R-RFP	Architect's Project No.	33AC23221	
Date of Issue	7-January-2025	Addendum No.	004	
Contract For	General Construction	For Bids Due	9-January-2025	

Seals



Description ADDENDUM NO. 4, Issue for Proposals Drawings and Specifications dated December 9th, 2024 Cy Ridge HS Renovations; as prepared by PSP, 1100 Louisiana, Suite one, Houston, Texas

This ADDENDUM NO. 4 shall hereby be and become a part of the Documents the same as if originally bound thereto.

The following clarifications, amendments, additions, revisions, changes, and modifications change the original Contract Documents only in the amount and to the extent hereinafter specified and set forth in this ADDENDUM NO. 4.

Each Bidder shall acknowledge receipt of ADDENDUM NO. 4 in appropriate space on their bid form.

General

<p>Section No.</p> <ul style="list-style-type: none"> • Contractor Questions <ul style="list-style-type: none"> • Division 95100 does not match A681 for acoustical ceiling finishes. Reflected ceiling plan only indicate 3 types as well. Please clarify ceiling finish types. <ul style="list-style-type: none"> ◦ SPECIFICATION HAVE BEEN UPDATED IN ADDENDUM 03 • A681 indicates a DCT1 ceiling finish decorative ceiling, where does this occur at? <ul style="list-style-type: none"> ◦ DCT1 HAS BEEN REMOVED IN ADDENDUM 03 • RCP does not indicate which ceiling type occurs where except a few areas like black box in Area 1G and Type 2 in Library, Large Group, and Café. <ul style="list-style-type: none"> ◦ REFERENCE ADDENDUM 3; ALL CEILINGS TO BE ACT-1 UNLESS NOTED OTHERWISE • What is Type 2 ceilings in Library, Large Group, and Café as indicated on RCP. <ul style="list-style-type: none"> ◦ ACT-3, REVISED IN ADDENDUM 03 • Should vinyl ceiling tile occur in Custodian, Cooking Lab, all areas in kitchen/production area, Concession, laundry, and ice room? RCP does NOT designate area for vinyl ceiling tile. <ul style="list-style-type: none"> ◦ CORRECT, CHANGE TO ACT-4 (RE: Finish Schedule)

- Should music rooms receive a Hi NRC ceiling tile similar to Armstrong Optima 3159?
 - **CORRECT**
 - **BAND ROOMS TO HAVE A REVERB TIME OF .6.**
 - **ORCHESTRA ROOMS TO HAVE A REVERB OF .8.**
 - **CHOIR ROOMS TO HAVE A REVERB TIME OF 1.0.**
 - **AUXILIARY MUSIC ROOMS TO HAVE A REVERB OF .6.**
- If corridors get ACT 2 ceiling per a681, should stairs get ACT2 as well? Please clarify.
 - **REVISED TO ACT-1; NRC Range: Not less than 0.55, determined in accordance with ASTM E1264.**
- If ACT2 is similar to Armstrong Cortega, would it be better to use Armstrong Fine Fissured 1728 to match ACT1 ceiling tile?
 - **CORRECT, REVISE TO ACT-1**
- The RCP does not indicate hvac grilles in a lot rooms, and neither does mechanical. Please provide.
 - **PER CEILING PLAN GENERAL NOTES ON AC SHEET SERIES "GC to document existing locations of supply, exhaust and return grills prior to demolition. Label, inspect and inventory. GC shall reinstall all grills in previous locations prior to demolition. "**
- There is no elevation for wall panels in room G1018 Ensemble. Please provide. A-101-G indicates wall panels on floor plan per note 630.
 - **8'H X 4"D ACOUSTIC PANELS @ 3' AFF, TYP. ALONG THE PERIMETER WALLS OF THE ROOM.**

Technical Specifications – Project Manual

Section No.
<ul style="list-style-type: none"> • AC- PROPOSAL FORMS <ul style="list-style-type: none"> • Replace the specification in its entirety. • Revised alternate names for Alternates 2B and 2C
<ul style="list-style-type: none"> • BA – A101-2017 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR-AS AMENDED <ul style="list-style-type: none"> • ARTICLE 4, Revise the following "The Contract sum contains an Owner's Betterment Allowance in the amount of Two Million Eight Hundred Seventy-Three Thousand Nine Hundred Thirty One Dollars and Seventy-Two Cents (\$2,873,931.72)."
<ul style="list-style-type: none"> • 01 21 00 - ALLOWANCES <ul style="list-style-type: none"> • Replace the specification in its entirety • Revised the allowance amount
<ul style="list-style-type: none"> • 01 23 00 - ALTERNATES <ul style="list-style-type: none"> • Replace the specification in its entirety • Revised alternate names for Alternates 2B and 2C

Drawings

ARCHITECTURAL			
ADC-101	01/07/2025	NEW	ARCHITECTURAL – DEMO REFLECTED CEILING PLAN - LEVEL 01 & 02 Add the sheet in its entirety Added to provide clarity on the extent of ceiling demolition

END OF ADDENDUM

This Addendum is hereby incorporated into the Contract Documents for the Project referenced above, modifying and superseding any previously issued Contract Documents. Bidders must acknowledge receipt of **Addendum 4** in the bid form.

FORM AC
COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL

2024 CY RIDGE HS RENOVATION
Cypress-Fairbanks Independent School District
Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5752R-RFP
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: _____

Date: _____ Phone No.: _____

To: Board of Trustees
Cypress-Fairbanks Independent School District
Facilities and Construction
11430-B Perry Road
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by **Page Architects** dated **December 9, 2024**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Base Proposal open for acceptance sixty (60) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

I. BASE PROPOSAL

A. Undersigned agrees to complete the Work for the lump sum amount of:

_____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

II. ALLOWANCES

Undersigned certifies that the allowances specified in Section 01 21 00 are included in the Base Proposal and agrees that unexpended balance of allowance sums will revert to Owner in the final settlement of the contract.

III. CONTRACT TIME

By submittal of this proposal, the undersigned stipulates that the Base Proposal includes all costs necessary to attain Substantial Completion of the Work on or before the date stipulated in AIA Document A101™-2017.

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 2:00 PM, January 9, 2025
COMPETITIVE SEALED PROPOSAL FORM - BASE PROPOSAL

IV. ADDENDA

Undersigned acknowledges receipt of Addenda Nos. _____ dated _____, _____.

V. CHANGES IN THE WORK

Undersigned understands that changes in the work shall be performed in accordance with the Supplementary Conditions.

VI. LIQUIDATED DAMAGES

By submittal of this proposal, the undersigned stipulates an agreement that if Substantial Completion of the Work is not attained on or before the date stipulated in AIA Document A101™-2017, the undersigned and his Surety shall be liable for and shall pay the Owner the sums stipulated as Liquidated Damages as defined in AIA Document A201™-2017.

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in the proposal process.

(Seal, if a Corporation)
State whether Corporation,
Partnership or Individual

Authorized Signature

Printed Name

Title

Name of Contracting Firm

Address

Telephone

Date

FORM AC
COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSALS

2024 CY RIDGE HS RENOVATION
Cypress-Fairbanks Independent School District
Cypress-Fairbanks I.S.D. Proposal Number: 24-02-5752R-RFP
Attn: Mr. Jesse Clayburn, Asst. Superintendent of Facilities & Construction

Submitted by: _____

Date: _____ Phone No.: _____

To: Board of Trustees
Cypress-Fairbanks Independent School District
Facilities and Construction
11430-B Perry Road
Houston, Texas 77064

Having examined Proposal and Contract Documents prepared by **Page Architects**, dated **December 9, 2024**, and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold Alternate Proposal open for acceptance one hundred twenty (120) days.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

I. ALTERNATES

If the Owner accepts any or all of the Alternates, the undersigned agrees to modify the Base Proposal as stipulated below:

A. Alternate Number 1 – **Base Bid Adjustment**

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

B. Alternate Number 2A – **Chillers by Carrier**

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

C. Alternate Number 2B – **Chillers by Daikin – Water Cooled Centrifugal Chillers with VFD**

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 3:00 PM, January 9, 2025
COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

D. Alternate Number 2C – *Chillers by Daikin – Water Cooled Magnetic Bearing Centrifugal Chillers with VFD*

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

E. Alternate Number 2D – *Chillers by Trane*

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

F. Alternate Number 3A – *Two Cell Counterflow Cooling Tower by Evapco*

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

G. Alternate Number 3B – *Three Cell Counterflow Cooling Tower by Evapco*

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

H. Alternate Number 3C – *Two Cell Counterflow Cooling Tower by Marley*

ADD/DEDUCT _____ Dollars \$ _____
(Amount written in words governs) (Amount in figures)

II. UNIT PRICES

If the Owner accepts any or all of the Alternates, the undersigned agrees to add or subtract the following units of _____ work:

UNIT PRICE 1: ELECTRICAL DUPLEX RECEPTACLE

Provide unit price for a new 20A, 120V duplex electrical receptacle and cover plate, flush mounted in a CMU, metal stud, or demountable wall construction, circuited to an existing electrical panel within 150 feet of the outlet using a branch circuit consisting of 2 #10 AWG and 1 #10 AWG ground in 3/4-inch EMT conduit. All conduits to be concealed in wall construction. Unit price shall include a 20-amp circuit breaker to be installed in existing panel space.

UNIT PRICE 2: DATA DROP

Provide unit price for a data drop, flush mounted in a CMU, metal stud or demountable wall construction, wired to an IDF/MDF Room. The data drop shall consist of a single gang wall box, cabling wiring device, cover plate, 3/4-inch conduit from outlet to above accessible ceiling, plenum-rated cabling routed above accessible ceiling to the nearest MDF or IDF location within 250 feet of the outlet. Termination and testing to be included in the unit price.

UNIT PRICE 3: 4 1/2" THICK CONCRETE WALK PER SQUARE FOOT

This unit cost shall establish the amount to the contract price for the Contractor to add or deduct 4 1/2" thick concrete walk (minimum 100 SF) per Square Foot.

UNIT PRICE 4: 7" THICK CONCRETE DRIVE PER SQUARE FOOT

This unit cost shall establish the amount to the contract price for the Contractor to add or deduct 7" thick concrete drive (minimum 100 SF) per Square Foot.

UNIT PRICE 5: CONCRETE SLAB PER SQUARE FOOT

This unit cost shall establish the amount to the contract price for the Contractor to add or deduct 7" thick concrete drive (minimum 100 SF) per Square Foot.

UNIT PRICE 6: DEMO CONCRETE SLAB PER SQUARE FOOT

This unit cost shall establish the amount to the contract price for the Contractor to add or deduct 7" thick concrete drive (minimum 100 SF) per Square Foot.

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COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

UNIT PRICE 7: LIFE SAFETY DEVICES (including all associated cabling and programming)

This unit cost shall establish the amount to be added or deducted from the contract price for the Contractor to add /deduct Fire Alarm devices.

III.	1. Exterior Horn to Speaker	\$ _____	each
	2. Interior Horn to Speaker	\$ _____	each
	3. Interior Visual Strobe	\$ _____	each
	4. Interior Speaker/Visual Strobe	\$ _____	each
	5. Smoke Detector	\$ _____	each
	6. Heat Detector	\$ _____	each
	7. Manual Pull Station	\$ _____	each
	8. Stopper 2 Pull Station Cover	\$ _____	each
	9. Annunciator Panel	\$ _____	each
	10. Duct Detector	\$ _____	each
	11. Relay	\$ _____	each
	12. Supervisory	\$ _____	each
	13. Waterflow	\$ _____	each
	14. Amplifier	\$ _____	each
	15. Remote Power Supply	\$ _____	each

UNIT PRICE 8: GRAPHIC SIGNS

This unit cost shall establish the amount to be added or deducted to the contract price for the Contractor to remove existing signage and install new as described below:

1. Sign Type A	\$ _____ /	each
2. Sign Type B	\$ _____ /	each
3. Sign Type C	\$ _____ /	each
4. Sign Type D	\$ _____ /	each
5. Sign Type E	\$ _____ /	each
6. Sign Type F	\$ _____ /	each
7. Max Occupancy Signage	\$ _____ /	each
8. FDC Connection Signage	\$ _____ /	each
9. Wayfinding Signage (2 lines text)	\$ _____ /	each
10. Wayfinding Signage (3 lines text)	\$ _____ /	each
11. Wayfinding Signage (4 lines text)	\$ _____ /	each

UNIT PRICE 9: PAINTING

This unit cost shall establish the amount to be added or deducted to the contract price for the Contractor to paint 100 square feet of wall (minimum 400 square feet of wall).

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 COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

UNIT PRICE 10: ASBESTOS ABATEMENT COMPONENTS

This unit cost shall establish the amount to be added or deducted to the contract price for the Contractor to add/deduct asbestos abatement components as described below:

No.	Unit Price Description	Add(\$/Figures)	Unit of Measure
	ASB-1 Price per unit for the proper removal, transportation, and disposal of interior ACBM Mirror Mastic. All work to be Completed in compliance with AHERA and TAHPR regulations. (Full Containment)	_____	Individual Mirror

UNIT PRICE 11: EXIT SIGN

This unit cost shall establish the amount to be added to the contract price to provide and install one (1) exit sign. Price shall include wiring to nearest available emergency circuit, up to 200 feet.

UNIT PRICE 12: ORNAMENTAL FENCE

This unit cost shall establish the amount to be added or deducted from the contract price for the Contractor to add/deduct ornamental fence.

1. 6-foot-high fence \$ _____ / linear foot
2. 6-foot-high x 4-foot-wide gate \$ _____ / per leaf
3. 6-foot-high x 6-foot-wide gate \$ _____ / per leaf

UNIT PRICE 13: SECURITY FILM

This unit cost shall establish the amount to be added to the contract price to provide and install security film on existing exterior glazing (minimum 200 square feet).

1. ~~Armoured~~ One \$ _____ / Square foot

CONTRACTOR'S PROJECT TEAM MEMBERS

The undersigned proposes the following project team members (include resumes):

Project Manager _____

Superintendent _____

Asst. Superintendent(s) _____

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 3:00 PM, January 9, 2025
 COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

Project Engineer _____

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COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

III. PROPOSED SUBCONTRACTORS

The undersigned proposes the following subcontractors. Note – Not all trades listed below will apply to every project.

Paving: _____

Abatement: _____

Dampproofing/insulator: _____

Masonry: _____

Roofing: _____

Drywall: _____

Casework: _____

Concrete: _____

Plumbing: _____

Mechanical: _____

Electrical: _____

Fire Alarm: _____

Sprinkler: _____

Low Voltage/Security: _____

Site Utilities: _____

Earthwork/Site Prep: _____

Fencing: _____

Pre-Engineered Metal Building: _____

Glazing: _____

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 3:00 PM, January 9, 2025
COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in proposal process.

(Seal, if a Corporation)
State whether Corporation,
Partnership or Individual

Authorized Signature

Printed Name

Title

Name of Contracting Firm

Address

Telephone

Date

END OF FORM

THIS PAGE OF PROPOSAL FORM MUST BE SUBMITTED BY 3:00 PM, January 9, 2025
COMPETITIVE SEALED PROPOSAL FORM - ALTERNATE PROPOSAL

SECTION 01 21 00

ALLOWANCES

CONDITIONS OF THE CONTRACT AND DIVISION 1, as applicable, apply to the Section.

PART 1 – GENERAL

Refer to Document AB for Substitutions of Materials and Equipment

1.1 CONDITIONS

- A. ALLOWANCES shall be included in the Contract sum as specified within this Specification Section in paragraph 3.1 below. These sums shall be reconciled as per AIA Document A201™–2017, as amended.
- B. Where allowances are for materials only, the cost of delivery to the job site may be funded from such allowance.
- C. Allowances are hereby established for the items in the amounts listed below. If any items exceed the amount listed, such excess cost shall be paid by the Owner. If any items cost less than the amount listed, the Owner shall be given a credit in the amount of the difference. Costs of items listed below are to be net costs to the General Contractor or Subcontractor, whichever makes the direct purchase.
- D. The Contractor shall include in the Contract Sum all allowances stated in the Contract Documents. These allowances shall cover the net cost of the materials and equipment delivered and unloaded at the site, and all applicable taxes.
 - 1. The Contractor's handling costs on site, labor, installation cost, estimating, labor burden, overhead, profit and other expenses contemplated for the original allowances shall be included in the Contractor's Sum and not in the allowance. Subcontractor and sub-subcontractor markups are allowable as provided in AIA Document A201™–2017, as amended.
 - 2. The Contractor shall cause the work covered by these allowances to be performed for such amounts and by such persons as the Architect may direct, but he will not be required to employ persons against whom he makes reasonable objection.
 - 3. The cost, when determined, is more than or less than the allowance, the Contract Sum shall be adjusted accordingly by Change Order which may include additional handling costs on the site, labor, installation costs, overhead, profit, cleaning, as-builts, standard warranty, cost to update electronic record documents and other expenses resulting to the Contractor from any increase over the original allowance if approved.
- E. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work without prior authorization. This written directive shall consist of Owner's representative and Architect's signature on Change Proposal Request document submitted by General Contractor with any applicable amendments if required indicating such approval. The Architect and Owner shall respond in a timely manner to document approved Change Proposal Request (CPR) expenditures and credits from such allowances within the contract. The Contractor may request payment for such approved expenditures only upon completion of the work and the completion of a fully executed CPR formally documenting allowance expenditure credits. The Contractor's overhead and profit relative to these allowance sums and work performed in accordance herewith, shall be included in the total Proposal prices, thus not included in the allowance sum. Unexpended balance of allowance sums shall revert to the Owner by Change Order in the final settlement of the contract.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.1 ALLOWANCES

- A. Owner's Betterment Allowance: \$2,873,931.72
1. Contractor shall include the amount indicated above in his Base Proposal as a contingency to cover the cost of additional scope of work. Contractor shall proceed with the work in question only after receiving written directions executed by the Owner and the Architect. Owner will not be obligated to pay the cost of any work performed without prior written authorization. The Contractor's overhead and profit relative to this contingency sum and work performed in accordance herewith, shall be included in the total Base Proposal price, but not included in the contingency sum. Unexpended balance of contingency sums shall revert to the Owner via Change Order during project closeout. Other scopes to be funded from this allowance may include, but are not limited to:

- BMCS Controls
- TDLR Allowance
- Furniture Moving and Relocation
- Emergency Radio Testing
- Promethean Board Moving and Storage
- Video Surveillance Agreement License Upgrade
- Fire Marshall items
- Weight Room Relocation
- Portable Connections
- LVT Moisture Mitigation

END OF SECTION

SECTION 01 23 00

ALTERNATES

PART 1 - GENERAL

1.1 ALTERNATE PRICES

- A. Contractor shall state, in the spaces provided in the proposal form, Alternate Prices for the work described below. The responsibility of determining quantity of Alternates rests with the Contractor. Base Proposal and Alternates shall include cost of all supporting elements required, so that no matter what combination of Base Proposal and Alternates are accepted, that portion shall be a complete entity. Work for all Alternates shall be in strict accordance with the specification sections noted and applicable to the specific work.

PART 2 - PRODUCTS

Not Used

PART 3 - EXECUTION

3.1 ALTERNATES

- A. **Alternate Number 1: Base Bid Adjustment**
This alternate shall establish the adjustments to the General Contractor's Base Proposal submitted at 2:00 pm, if necessary. This alternate shall be accepted whether it is an add or a deduct and will be used as part of the evaluation process to determine the best value for the District.
- B. **Alternate Number 2A: Chillers by Carrier**
This alternate shall establish the amount to be added to the base proposal for the Contractor to furnish and install Water Cooled Centrifugal chillers with VFD as manufactured by Carrier as shown on the drawings and listed in the specifications. There are no chillers included in the base proposal.
- C. **Alternate Number 2B: Chillers by Daikin – Water Cooled Centrifugal Chillers with VFD**
This alternate shall establish the amount to be added to the base proposal for the Contractor to furnish and install Water Cooled Centrifugal chillers with VFD as manufactured by Daikin as shown on the drawings and listed in the specifications. There are no chillers included in the base proposal.
- D. **Alternate Number 2C: Chillers by Daikin – Water Cooled Magnetic Bearing Centrifugal Chillers with VFD**
This alternate shall establish the amount to be added to the base proposal for the Contractor to furnish and install Water Cooled Magnetic Bearing Centrifugal chillers with VFD as manufactured by Daikin as shown on the drawings and listed in the specifications. There are no chillers included in the base proposal.
- E. **Alternate Number 2D: Chillers by Trane**
This alternate shall establish the amount to be added to the base proposal for the Contractor to furnish and install Water Cooled Centrifugal chillers with CFD as manufactured by Trane as shown on the drawings and listed in the specifications. There are no chillers included in the base proposal.
- F. **Alternate Number 3A: Two Cell Counterflow Cooling Tower by Evapco**
This alternate shall establish the amount to be added to the base proposal for the Contractor to provide HVAC Two Cell Counterflow Cooling tower furnished and installed as manufactured by Evapco as shown on the drawings and listed in the specifications. This alternate shall include the

costs associated with the installation of the Evapco Two Cell Cooling tower, the structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits. There are no HVAC Two Cell cooling towers, structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits included in the base bid.

G. **Alternate Number 3B: Three Cell Counterflow Cooling Tower by Evapco**

This alternate shall establish the amount to be added to the base proposal for the Contractor to provide HVAC Three Cell Counterflow Cooling towers furnished and installed as manufactured by Evapco as shown on the drawings and listed in the specifications. This alternate shall include the costs associated with the installation of the Three Cell Evapco cooling tower, the structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits. There are no HVAC Three Cell cooling towers, structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits included in the base bid.

H. **Alternate Number 3C: Three Cell Counterflow Cooling Tower by Marley**

This alternate shall establish the amount to be added to the base proposal for the Contractor to provide HVAC Three Cell Cooling towers furnished and installed as manufactured by Marley as shown on the drawings and listed in the specifications. This alternate shall include the costs associated with the installation of the Marley Three Cell cooling tower, the structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits. There are no HVAC Three Cell cooling towers, structural supports, make-up water piping exterior of the building, condenser water piping exterior of the building, electrical and conduits included in the base bid.

3.2 GENERAL NOTES

- A. Unless otherwise indicated, scope of work for each alternate shall include material and labor, general conditions and all other costs associated with completing the work described.
- B. Alternates are not listed in any order of priority.
- C. Acceptance of alternates shall be the sole discretion of the Owner.
- D. See Section AB for alternate pricing timelines.

END OF SECTION

Page Southerland Page, Inc.
1100 Louisiana, Suite One
Houston, TX 77002
page@psp.com
TEL: 713 871 8440
FAX: 713 871 8440

ARCHITECTURE / ENGINEERING / INTERIORS / PLANNING / CONSULTING
Albany / Albuquerque / Atlanta / Austin / Boston / Charleston / Dallas / Denver /
Dubai / Houston / Los Angeles / Mexico City / New York City / Orlando / Phoenix /
Raleigh / Richmond / San Antonio / San Francisco / Tampa / Washington DC

IN ASSOCIATION WITH:
HarrisonKornberg
ARCHITECTS

Harrison Kornberg Architects
3800 Buffalo Speedway, Suite 550
Houston, TX 77098
TEL: 713 229 0688
FAX: 713 229 0902

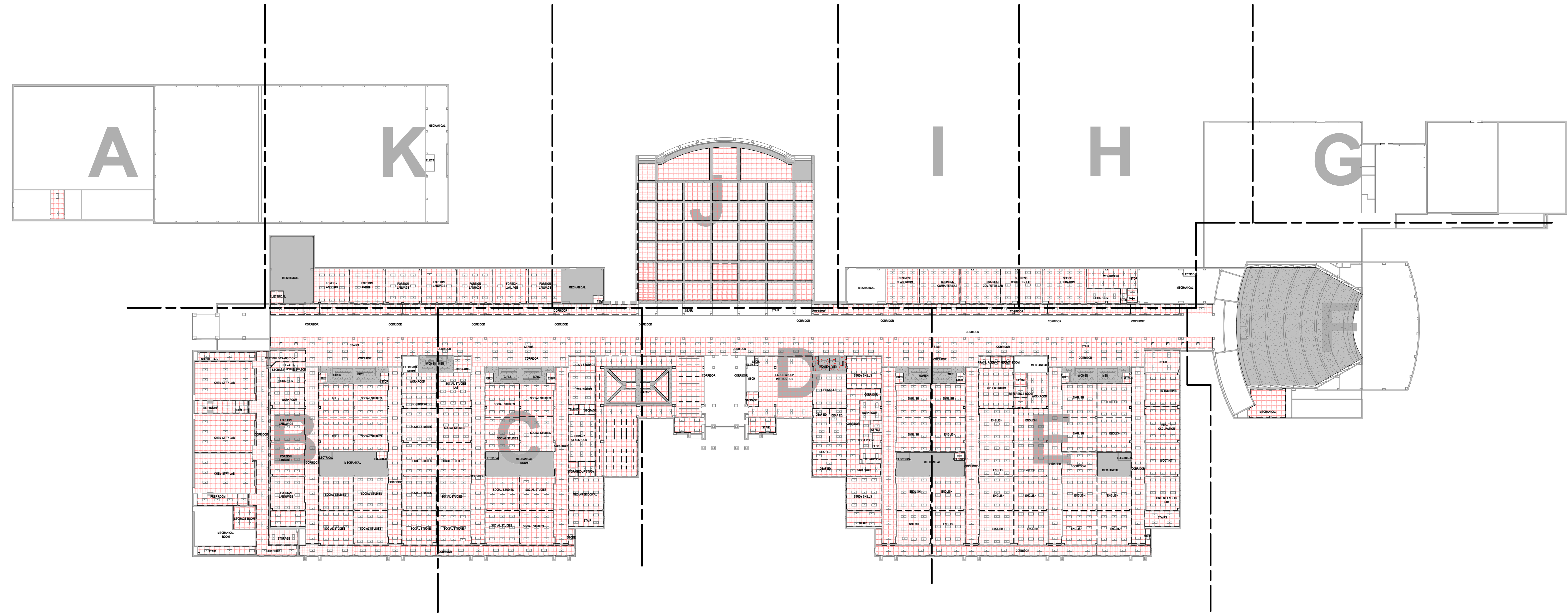
CONSULTANT TEAM

STRUCTURAL ENGINEER Dally + Associates 8900 Richmond Avenue Suite 400 Houston, Texas 77042 713.337.8881	MEP & AV/THEATRICAL ENGINEER Sales O'Brien 10930 W Sam Houston Pkwy N Suite 800 Houston, TX 77064 281.664.1900
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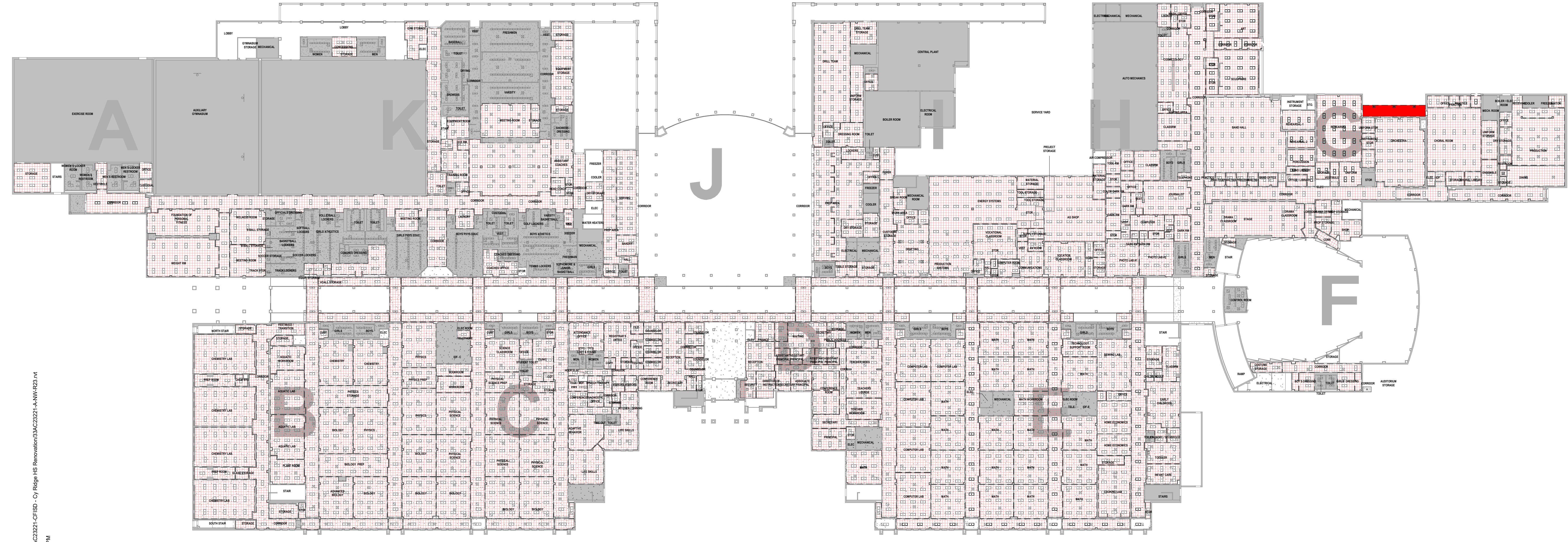
CIVIL ENGINEER Brooks & Sparks Inc. 2100 Park Row Dr. Katy, Texas 77449 281.578.9595	LANDSCAPE/IRRIGATION KW Landscape Architects 6925 Portwest Drive Suite 100 Houston, Texas 77024 346.509.5638
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DEMOLITION RCP GENERAL NOTES

- COORDINATE ALL DEMOLITION WITH THE INFORMATION PROVIDED IN THIS SET OF CONTRACT DOCUMENTS.
- ALL MATERIAL TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF AS APPROVED BY LOCAL ORDINANCE AND CODES.
- THE EXISTING AREAS TO REMAIN SHALL BE PROTECTED. ALL DAMAGE RESULTING FROM WORK IN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE. CAREFULLY DISMANTLE AND REMOVE MATERIALS SHOWN ON PLANS TO BE DEMOLISHED. NOTIFY ARCHITECT PRIOR TO CONSTRUCTION OF ANY DEMOLITION WORK THAT MAY DAMAGE THE INTEGRITY OF ANY MATERIALS WHICH ARE TO REMAIN AS EXISTING.
- PARTS OF THIS BUILDING WILL BE ACTIVE. THE CONTRACTOR SHALL COORDINATE ALL SYSTEM SHUT DOWNS WITH THE FACILITY MANAGER. THE CONTRACTOR SHALL INFORM THE FACILITY MANAGER OF SCHEDULE, DURATION AND AREAS AFFECTED AND SHALL RECEIVE OWNER APPROVAL PRIOR TO SHUT DOWN COMMENCEMENT.
- THE PREMISES IN WHICH WORK IS BEING PERFORMED SHALL BE KEPT CLEAN AT ALL TIMES.
- PROTECT ALL HVAC DUCTWORK IN RENOVATED AREA. RE: MECHANICAL DRAWINGS FOR MORE INFORMATION.
- ANY AND ALL FIRE PROOFING LOST FROM DEMOLITION WORK MUST BE REPAID AS REQUIRED FOR CODE RELATED RATING.
- REMOVE EXISTING CEILINGS AND CEILING SUPPORT SYSTEM WHERE NEW CEILINGS ARE INDICATED, UNLESS NOTED OTHERWISE.
- PROTECT EXISTING FIRE PROOFING OR FIRE ASSEMBLIES INDICATED TO REMAIN. DAMAGE DURING DEMOLITION SHALL BE REPAID TO CONFORM TO ORIGINAL FIRE PROTECTION REQUIREMENTS.
- AREA OR OBJECTS IDENTIFIED AS "EXISTING TO REMAIN" OR "NOT IN CONTRACT" SHALL BE PROTECTED. ALL DAMAGE TO THESE AREAS RESULTING FROM DEMOLITION WORK WITHIN THIS CONTRACT SHALL BE RETURNED TO ITS ORIGINAL STATE.
- GC TO DOCUMENT EXISTING LOCATIONS OF SUPPLY, EXHAUST AND RETURN GRILLS PRIOR TO DEMOLITION. LABEL, INSPECT AND INVENTORY. GC SHALL REINSTALL ALL GRILLS IN PREVIOUS LOCATIONS PRIOR TO DEMOLITION.



3 ARCHITECTURAL - DEMO OVERALL REFLECTED CEILING PLAN - LEVEL 02
SCALE: 1" = 40'-0"

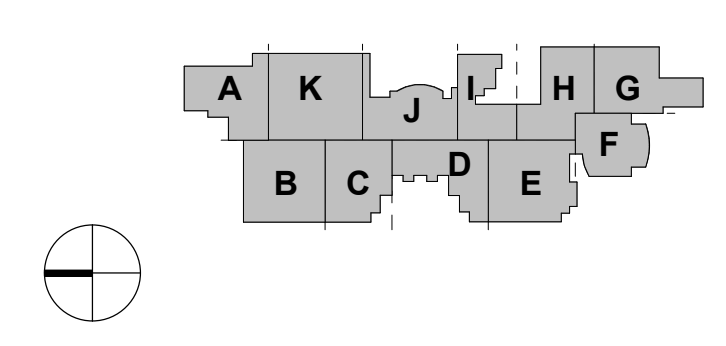


1 ARCHITECTURAL - DEMO OVERALL REFLECTED CEILING PLAN - LEVEL 01
SCALE: 1" = 40'-0"

DEMO CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
	EXISTING LIGHT FIXTURES TO REMAIN. REF: ELECTRICAL DRAWINGS
	EXISTING DOWNLIGHT REF: ELECTRICAL DRAWINGS
	EXISTING SUSPENDED OR MOUNTED LIGHT FIXTURES
	EXISTING HVAC GRILLE, DIFFUSER. REF: MEP DRAWINGS
	EXISTING ACOUSTIC CEILING TILE TO BE REMOVED
	EXISTING GYPSUM CEILING, PAINTED
	EXISTING EXTERIOR PLASTER SOFFIT TO BE REMOVED
	NOT IN CONTRACT (NIC)

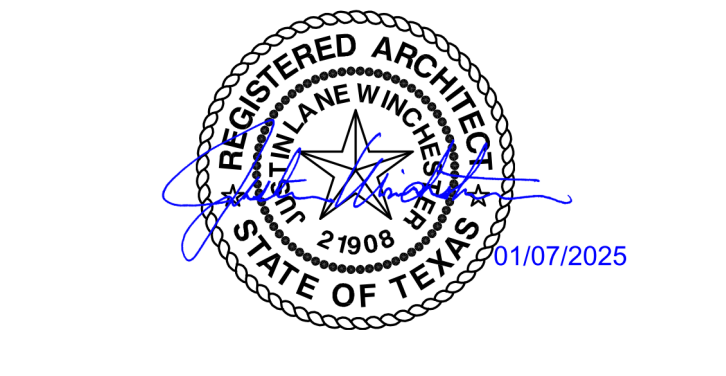
KEYPLAN



REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	ADDENDUM 04	01/07/2025

PROFESSIONAL SEALS



CLIENT
CYPRESS-FAIRBANKS
INDEPENDENT SCHOOL DISTRICT

PROJECT
2024 CY RIDGE HS RENOVATION
7900 North Eldridge Parkway
Houston, TX 77041

PROJECT NUMBER: 33AC23221
ABBREVIATION: CFSID

DRAWN BY: Author
CHECKED BY: Checker

ORIGINAL ISSUE
ISSUE FOR PROPOSALS
DECEMBER 09, 2024

SHEET NAME
ARCHITECTURAL - DEMO REFLECTED CEILING PLAN - LEVEL 01 & 02

SHEET NUMBER
ADC-101

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